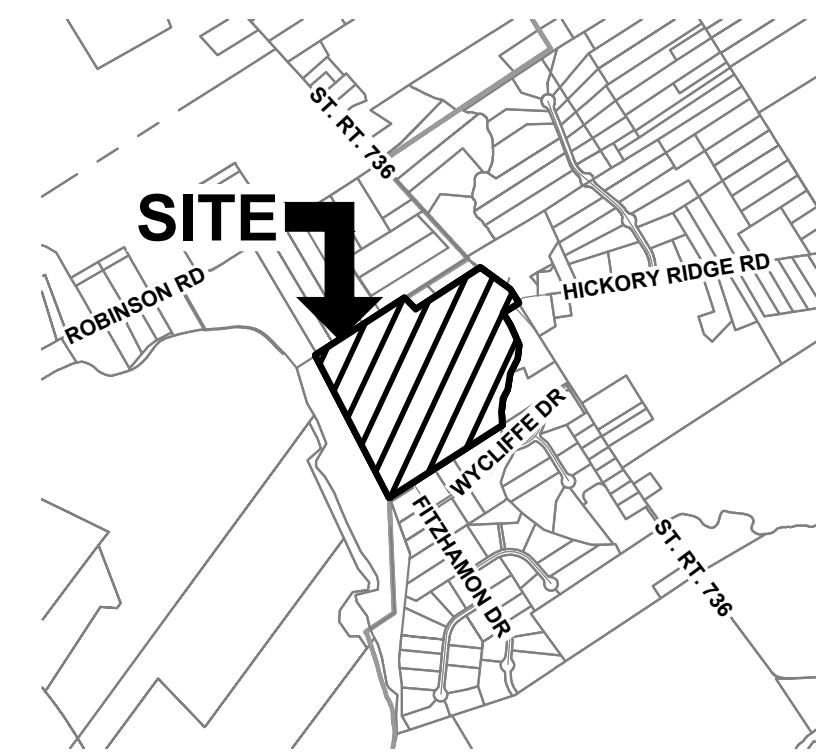
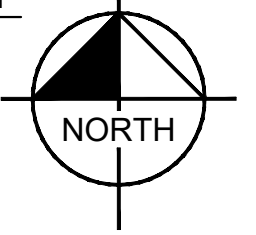


PRELIMINARY ENGINEERING PLAN FOR AVONDALE

VIRGINIA MILITARY SURVEY NO. 3484
JEROME/DARBY TOWNSHIP, UNION COUNTY, OHIO



VICINITY MAP
SCALE: 1" = 2000'



Sheet List Table	
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1	COVER SHEET
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3	TYPICAL SECTIONS
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6	UTILITY & GRADING PLAN
7	SIGHT DISTANCE EXHIBIT
8	STREET PROFILES
9	STREET PROFILES
10	EROSION CONTROL PLAN

SITE STATISTICS

CURRENT ZONING: RU - RURAL RESIDENTIAL DISTRICT (JEROME TOWNSHIP)
U-1 - RURAL UNDEVELOPED DISTRICT (DARBY TOWNSHIP)

TOTAL SITE ACREAGE: ±67.88 AC
SITE ACREAGE WITHIN DARBY TOWNSHIP: ±15.36 AC
SITE ACREAGE WITHIN JEROME TOWNSHIP: ±52.52 AC
TOTAL NUMBER OF DWELLING UNITS: 30
TOTAL NUMBER OF BEDROOMS PER UNIT: 3-5
GROSS DENSITY: 0.44 UNITS/AC

REFERENCES

- EXISTING BASE MAP INFORMATION OBTAINED FROM UNION COUNTY GIS, NOVEMBER 2024.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON LIDAR DATA OBTAINED FROM OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM, NOVEMBER 2024.

FLOOD PLAN

ALL OF THE AVONDALE DEVELOPMENT IS IN THE FLOOD HAZARD ZONE X (OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 39159C0370D, EFFECTIVE DATE 12/16/2008

BENCHMARKS (NAVD 88)

BM #1: 949.91'
A CHISELED SQUARE CUT IN THE NORTHERNMOST CORNER OF NORTHWESTERLY BRIDGE ABUTMENT LOCATED ON THE NORTHEASTERLY SIDE OF S.R. 736 AND HICKORY RIDGE ROAD INTERSECTION.

BM #2: 945.41'
A RAILROAD SPIKE SET IN THE WESTERLY SIDE OF A POWER POLE, BEING THE SECOND POLE NORTHWEST OF THE S.R. 736 BRIDGE, LOCATED 430 FEET NORTHWEST OF THE S.R. 736 BRIDGE AND HICKORY RIDGE ROAD INTERSECTION AND BEING 54' NORTHEAST OF THE NORTHEASTERLY S.R. 736 EDGE OF PAVEMENT.

BM #3: 950.02'
A CHISELED SQUARE CUT IN THE WESTERNMOST CORNER OF NORTHWESTERLY BRIDGE ABUTMENT LOCATED ON THE SOUTHWESTERLY SIDE OF S.R. 736, BEING 193 FEET NORTHWEST OF THE S.R. 736 AND HICKORY RIDGE ROAD INTERSECTION.

BM #4: 954.50'
A RAILROAD SPIKE SET IN THE SOUTHEASTERLY SIDE OF A POLE IN FRONT OF THE HOUSE AT 8911 S.R. 736 AND APPROX. 63' SOUTHWEST OF THE SOUTHWESTERLY EDGE OF PAVEMENT FOR S.R. 736, BEING 570 FEET NORTHWEST OF THE S.R. 736 AND HICKORY RIDGE ROAD INTERSECTION.

NOTES

FIELDWORK FOR THE ALTA/NSPS LAND TITLE SURVEY WAS COMPLETED ON OCTOBER 29, 2024.

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
7965 NORTH HIGH ST., SUITE 200
COLUMBUS, OH 43235
TEL: (614) 472-8548
CONTACT: NICK STAUFFENGER
EMAIL: NICK.STAUFFENGER@KIMLEY-HORN.COM

DEVELOPER

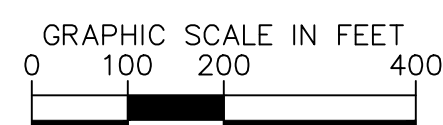
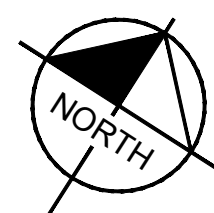
SOX REAL ESTATE, LLC
5979 DUBLIN ROAD
DELAWARE, OH 43015
TEL: (614) 286-2055
CONTACT: BART BAROK
EMAIL: BARTBAROK@GMAIL.COM

SURVEYOR

CES, INC.
2800 CORPORATE EXCHANGE DRIVE, SUITE 400
COLUMBUS, OH 43231
TEL: (614) 619-0515
CONTACT: MATT ACKROYD
EMAIL: MATT.ACKROYD@CESINC.COM

PROPERTY OWNER

WILCOX BARBARA
0 STATE ROUTE 736
PLAIN CITY, OH 43064



EXISTING PARCEL INFORMATION:

A KARRER CAROL C 13887 ROBINSON RD PID: 133000096600 ZONING U-1 18.73 ACRES	L FULLER BRIAN T, FULLER HOLLY A 8747 ST RT 736 PID: 1330000107001 ZONING RU 4.40 ACRES
B BODENBENDER HARLEY G & JUDITH K TRUSTEES 13859 ROBINSON RD PID: 133000097000 ZONING U-1 6.10 ACRES	M HOCHSTETLER PHILLIP E & RHODA M 8717 ST RT 736 PID: 1340000213000 ZONING RU 5.04 ACRES
C BURRIS SHAY S, BURRIS LORI A 13835 ROBINSON RD PID: 133000098000 ZONING U-1 5.60 ACRES	N DIONISIO DAVID, DIONISIO REBECCA 13000 WYCLIFFE DR PID: 1340000224000 ZONING RU 2.58 ACRES
D AKINS KEVIN T & MARY ALICE 13795 ROBINSON RD PID: 133000099000 ZONING U-1 5.58 ACRES	O STRIBLIN KEITH, STRIBLIN MICHAEL 13032 WYCLIFFE DR PID: 1340000225000 ZONING RU 3.52 ACRES
E FRANCIS STEPHEN J 13761 ROBINSON ROAD PID: 1330000100000 ZONING U-1 6.20 ACRES	P JR HONAKER JOHN A, HONAKER KIM E 13040 WYCLIFFE DR PID: 1340000226000 ZONING RU 1.52 ACRES
F LYONS TYLER J & MARY K 8931 ST RT 736 PID: 1330000106000 ZONING R-1 5.10 ACRES	Q MAMER LUKE, MAMER REAGAN 13050 WYCLIFFE DR PID: 1340000227000 ZONING RU 1.63 ACRES
G SWARTZ JASON A, SWARTZ MISTY D 0 ST RT 736 PID: 1330000107003 ZONING RU 1.00 ACRES	R BEETON THERESA, BEETON BRET 8633 FITZHAMON DR PID: 1340000229000 ZONING RU 1.55 ACRES
H SWARTZ JASON A, SWARTZ MISTY D 8911 ST RT 736 PID: 1330000107002 ZONING RU 1.94 ACRES	S DARBY BRAESIDE HOMEOWNERS ASSOCIATION INC 0 WYCLIFFE DR PID: 1340000228000 ZONING RU 0.30 ACRES
I STONE J DAVID & BONNIE L 9000 ST RT 736 PID: 1330000109000 ZONING RU 5.71 ACRES	T DARBY BRAESIDE HOMEOWNERS ASSOCIATION INC 0 FITZHAMON DR PID: 1430000031000 ZONING U-1 23.34 ACRES
J COMSTON TINA ANN & DON EDWARD 13200 HICKORY RIDGE RD PID: 1340000138000 ZONING RU 9.95 ACRES	
K LADA ROBERT 13215 HICKORY RIDGE RD PID: 1340000139000 ZONING RU 2.36 ACRES	

Drawing name: K:\CIB\DEV\190283000_Sov Real Estate_Jerome_OA\2_Design\CAD\PlanSheets\Preliminary Engineering Plan\Cover Sheet.dwg 1 COVER SHEET Mar 20, 2025 10:21am by JacobWentz
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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SCALE: AS NOTED DESIGNED BY: NSS DRAWN BY: JDW CHECKED BY: NSS	<h3>COVER SHEET</h3>
PRELIMINARY ENGINEERING PLAN FOR <h2>AVONDALE</h2> STATE ROUTE 736 PLAIN CITY, OHIO 43064	
ORIGINAL ISSUE: 3/17/2025 KHA PROJECT NO. 190363000 SHEET NUMBER <h1 style="font-size: 2em;">1</h1> OF 10	

Drawing name: K:\CIB_LDEV\190363000_Sov_Reel_Estate-Jerome_Om\3_Design\CAD\PlanSheets\Preinary_Engineering_Plan_General_Notes.dwg 2. GENERAL NOTES Mar 20, 2025 9:28am by: Jacob.Wentz
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UNION COUNTY – GENERAL NOTE

1. THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (ODOT) TOGETHER WITH THE REQUIREMENTS OF THE UNION COUNTY, OHIO SHALL GOVERN MATERIALS AND WORKMANSHIP INVOLVED IN IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT THOSE SPECIFICATIONS MODIFIED BY THE FOLLOWING SPECIFICATIONS OR CONSTRUCTION DETAILS SET FORTH HEREIN
2. ALL WORK IS TO BE ACCEPTABLE TO UNION COUNTY OFFICIALS. NO WORK IS TO COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH THE UNION COUNTY ENGINEER FOR INSPECTION. ALL CONSTRUCTION LAYOUT IS TO BE PROVIDED BY THE OWNER
3. THE DEVELOPER/OWNER SHALL, PRIOR TO ANY CONSTRUCTION OPERATIONS, DEPOSIT WITH THE UNION COUNTY, THE TOTAL ESTIMATED COST FOR INSPECTIONS
4. THE CONTRACTOR SHALL NOTIFY THE UNION COUNTY ENGINEER AT LEAST THREE WORKING DAYS PRIOR TO CONSTRUCTION
5. THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS AND PROGRAMS IN CONNECTION WITH THE WORK
6. THE IDENTITY AND LOCATION OF ALL EXISTING UNDERGROUND FACILITIES KNOWN TO BE IN THE CONSTRUCTION AREA HAS BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UTILITY. THE UNION COUNTY HAS NO RESPONSIBILITY AS TO THE ACCURACY OR DEPTH OF THE UNDERGROUND FACILITIES AS SHOWN ON THE PLANS
7. INVESTIGATIONS, LOCATION, SUPPORT, AND RESTORATION OF ALL EXISTING UTILITIES, APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
8. WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES THE CONTRACTOR SHALL UNCOVER THE EXISTING UTILITY IN ADVANCE OF LAYING PIPE IN ORDER THAT THE ENGINEER MAY DETERMINE THE EXACT ELEVATION AND MAKE ANY NECESSARY ADJUSTMENTS
9. THE CONTRACTOR SHALL GIVE NOTICE TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 1- 800-362-2764) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UTILITY PROTECTION SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITY AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY
10. ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED WITH SDR 35 PERFORATED PIPE OR CONNECTED TO THE STORM SEWER SYSTEM
11. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF TRAFFIC DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS, PUBLISHED BY ODOT, BUREAU OF TRAFFIC
12. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL EXISTING SIGNS, SHRUBS, FENCES, OR OTHER PHYSICAL FEATURES DAMAGED DURING THE EXECUTION OF THIS CONTRACT AT HIS OWN EXPENSE. ALL REPAIRS SHALL BE TO THE SATISFACTION OF THE OWNER AND THE UNION COUNTY
13. ANY SURVEY MONUMENTS OR PROPERTY CORNER PINS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE
14. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENT FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF IMPROVEMENTS SHOWN ON THESE PLANS
15. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL EXISTING WORK DAMAGED DURING OR DUE TO THE EXECUTION OF THIS CONTRACT AT HIS OWN EXPENSE. ALL SAID WORK SHALL BE TO THE SATISFACTION OF THE OWNER AND THE UNION COUNTY
16. THE CONTRACTOR SHALL CLEAN ADJACENT STREETS ON A DAILY BASIS IF MUD IS TRACKED FROM VEHICLES VISITING THE SITE
17. THE CONTRACTOR/ENGINEER/OWNER SHALL PROVIDE ASBUILT ENGINEERING PLANS FOR SANITARY, STREET, STORM SEWERS, AND WATER LINE, AT THE COMPLETION OF CONTRACT. PLANS SHALL BE SUBMITTED IN ELECTRONIC FORMAT
18. SURVEY MONUMENTS SHALL BE SET AT THE COMPLETION OF THE CONTRACT, AND A LETTER CERTIFYING THAT THE WORK WAS DONE SHALL BE PROVIDED TO THE CITY ENGINEER.

GENERAL NOTES

1. PARKING SHALL NOT BE PERMITTED ON THE SIDE OF THE STREET WHERE FIRE HYDRANTS ARE INSTALLED.
2. LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM THE FOUNDATION WALL SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
3. BE ADVISED, A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAIN PIPES OR TILES ENCOUNTERED IN THE FIELD AND IF DAMAGED, REPAIR OR REPLACE THEM IMMEDIATELY WITH THE SAME SIZE AND QUALITY OF MATERIALS AS FOUND. ALL DRAINAGE TILES ENCOUNTERED IN THE FIELD SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AT A STRUCTURE.

STORM SEWERS

1. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 603, ALL TRENCHING, EXCAVATION AND BACKFILLING PER STANDARD DRAWING STR-15, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, STUMPS ETC. WITHIN THE AREA OF EXCAVATION OF THE TRENCH, UNLESS BID IN ITEM 203.
2. THE PROPOSED ELEVATIONS AND LOCATIONS OF INLETS, CATCH BASINS, AND PIPES, AND THE ESTIMATED LENGTHS OF PIPES, MAY BE ADJUSTED BY THE COUNTY ENGINEER DURING THE ENTIRE IMPROVEMENT OF THIS PROJECT. BASIS OF PAYMENT FOR POSSIBLE ADJUSTMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS STORM SEWERS TO BE ADJUSTED.
3. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE AS HEREAFTER SPECIFIED:
 - a. ALL SIZES OF STORM SEWER LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE TYPES "A" OR "B" CONDUIT (ODOT 706.02).
 - b. STORM SEWERS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE TYPE "C" CONDUIT (ODOT 706.02) OR POLYPROPYLENE COMPLYING WITH ODOT 707.65 OR 707.69.
4. ALL TYPE "A", "B", AND "C" CONDUIT SHALL HAVE JOINTS, PER ODOT 706.11 AND SHALL USE TYPE C BITUMINOUS PIPE JOINT FILLER.
5. GRANULAR BEDDING SHALL BE PROVIDED FOR ALL TYPE "A" AND "B" CONDUIT PER ODOT 703.11.
6. ALL PIPES OUTSIDE THE RIGHT-OF-WAY SHALL HAVE A COVER OF 1.5 FEET MINIMUM. WHEREVER THIS IS NOT THE CASE, EMBANKMENT SHALL BE PLACED TO PROVIDE A MINIMUM COVER PRIOR TO THE INSTALLATION OF THE STORM SEWER.
7. OPENINGS SHALL BE PROVIDED IN THE DRAINAGE STRUCTURES TO ACCOMMODATE UNDERDRAIN OUTLETS. ANY CORING NECESSARY SHALL BE INCLUDED WITHIN THE COST OF THE UNDERDRAIN. UNDERDRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN SPECIFICATIONS.
8. WHERE PLASTIC PIPE (HDPE) IS USED FOR STORM SEWERS TO BE PLACED ON DRAINAGE MAINTENANCE, 100% OF THE PIPE SHALL BE MANDRELLED 30 DAYS AFTER INSTALLATION. ALL PLASTIC PIPE FAILING THE MANDREL TEST SHALL BE RETESTED AND/OR REPLACED PER THESE STANDARDS AND SUPPLEMENTAL SPECIFICATIONS.
9. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR UNDERGROUND UTILITY PIPE, ALL TRENCHING, BACKFILLING AS PER PLAN, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, STUMPS, ETC. WITHIN THE AREA OF EXCAVATION OF THE TRENCH.
10. THE CONTRACTOR SHALL REFER TO THE UTILITY PLAN AND PROFILE SHEETS TO DETERMINE CRITICAL UTILITY CROSSINGS.
11. IN PAVEMENT, SIDEWALK, AND UTILITY CROSSING AREAS THE BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL PER ODOT ITEM 304, AND ALL OTHER REMAINING AREAS SHALL BE BACKFILLED PER ODOT ITEM 603.11.

GRADING NOTES

1. EXCAVATION AND EMBANKMENT SHALL COMPLY WITH ODOT ITEM 203 AND ODOT SUPPLEMENTAL SPECIFICATIONS.
2. THE CONTRACTOR'S BID SHALL BE COMPREHENSIVE AND INCLUDE ALL LABOR AND EQUIPMENT TO COMPLETE ALL EXCAVATION, FILL AND GRADING IN ACCORDANCE WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
3. EXCAVATION AND EMBANKMENT QUANTITIES DO NOT INCLUDE ANY PROVISION FOR UNDERCUTTING, FOOTINGS, OR UNSUITABLE MATERIAL.
4. AFTER THE TOPSOIL IS REMOVED, PROOFROLL THE PAVEMENT AND BUILDING AREA SUBGRADES TO BE FILLED. SOFT AREAS SHOULD BE UNDERCUT AND STABILIZED PRIOR TO FILLING OPERATIONS. RELATIVE DEPTH OF UNDERCUT WILL BE DETERMINED WHEN SOFT AREAS ARE DISCOVERED. THE UNION COUNTY ENGINEER SHALL DETERMINE THE DEPTH AND EXTENT OF THE UNDERCUT.

PIPE UNDERDRAINS

1. ALL MATERIALS AND WORKMANSHIP FOR UNDERDRAINS SHALL COMPLY WITH ODOT ITEM 605.
2. UNDERDRAINS SHALL BE INSTALLED AND BACKFILLED TO SUBGRADE ELEVATIONS IMMEDIATELY PRIOR TO CONSTRUCTION OF SUB-BASE AND AFTER THE PROOFROLL OF THE SUBGRADE. HOWEVER, WHERE SUBSURFACE CONDITIONS ARE SUCH THAT IMPROVEMENT OF UNSTABLE SUBGRADE CAN BE ACCOMPLISHED THROUGH DRYING ACTION OF UNDERDRAINS, THE COUNTY ENGINEER MAY AUTHORIZE OR REQUIRE THE CONTRACTOR TO DELAY CONSTRUCTION OF THE SUB-BASE AS NECESSARY.
3. IMMEDIATELY PRIOR TO THE CONSTRUCTION OF CURBS, THE MATERIAL LOCATED ABOVE AND WITHIN THE UNDERDRAIN TRENCH SHALL BE REMOVED TO A DEPTH NECESSARY TO EXPOSE CLEAN #8 OR #57 STONE. BACKFILL THE EXCAVATED AREA WITH CLEAN #8 OR #57 STONE.
4. REINFORCED ENDS SHALL BE PROVIDED FOR THE EXPOSED ENDS OF ALL UNDERDRAIN OUTLETS, IF THE EXPOSED PIPE ENDS ARE UNPROTECTED BY HEADWALLS, CATCH BASINS, OR MANHOLES. THE LAST 10 FEET OF UNDERDRAIN SHALL BE TYPE "F" WHEN OUTLETING IN DITCH.

SITE CLEANUP

1. DURING CONSTRUCTION AND PRIOR TO ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS, THE OWNER/DEVELOPER SHALL REMOVE OR CAUSE TO BE REMOVED ALL REFUSE, RUBBISH, UNUSED MATERIALS, EXCESS EARTH, FILL, ROCK, DEBRIS, AND FOREIGN MATTER FROM ALL PUBLIC RIGHTS OF WAY, IMPROVEMENTS, AND/OR EASEMENTS AS WERE DEPOSITED, LEFT OR RESULTED FROM THE CONSTRUCTION OF IMPROVEMENTS OF ANY NATURE WITHIN THE DEVELOPMENT. SUCH REMOVAL SHALL TAKE PLACE WITHIN TWENTY-FOUR (24) HOURS AFTER BEING NOTIFIED BY THE COUNTY ENGINEER THAT SUCH WORK IS REQUIRED, AND SHALL BE COMPLETED TO THE SATISFACTION OF THE COUNTY ENGINEER.
2. THIS WORK SHALL BE PERFORMED IN A MANNER WHICH PREVENTS EROSION AS WELL AS PREVENTS STORM WATER FROM ACCUMULATING OR PONDING ON THE SITE. THE WORK SHALL ALSO BE PERFORMED IN A MANNER THAT PREVENTS DISRUPTING OR IMPEDING SURFACE DRAINAGE FROM ONSITE OR OFFSITE SOURCES AND PREVENTS ANY NEGATIVE EFFECTS ON ADJACENT PROPERTIES. A SIX-INCH OVERLAY OF TOPSOIL SHALL BE PROVIDED AND SHALL BE SEEDED PER ODOT STANDARD SPECIFICATIONS.
3. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN THAT EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO THE SATISFACTION OF THE COUNTY ENGINEER.

EROSION AND SEDIMENTATION CONTROL

SEE THE INCLUDED SWPPP SHEETS FOR EROSION CONTROL REQUIREMENTS AND NOTES THAT APPLY TO THIS PROJECT.

RETENTION/DETENTION BASINS

1. ANTI-SEEP COLLARS ARE REQUIRED FOR ALL RETENTION/DETENTION POND OUTLETS. A MINIMUM OF TWO COLLARS ARE REQUIRED. COLLARS MUST BE CONSTRUCTED (EXCAVATED) A MINIMUM OF 3'0" INTO UNDISTURBED SOIL ON ALL THREE SIDES. CLASS C CONCRETE PER CURRENT ODOT SUPPLEMENTAL SPECIFICATIONS SHALL BE USED FOR REPLACEMENT OF THE EXCAVATED MATERIAL. THE COLLARS MUST BE A MINIMUM OF 8 INCHES THICK.
2. A CLAY CORE OF SUFFICIENT THICKNESS IS REQUIRED FOR ALL DETENTION AND RETENTION PONDS IN CUT AREAS. THE COUNTY ENGINEER SHALL FIELD APPROVE THE CORE THICKNESS OR THE CONDITION OF THE EXISTING SOILS AS A SUBSTITUTE FOR A CLAY CORE (E.G., EXISTING CLAY MATERIAL).
3. TREES AND LANDSCAPING SHALL NOT BE PERMITTED ON EMBANKMENT SURFACES

BASIN EMBANKMENT CONSTRUCTION SPECIFICATIONS

1. COMPLETELY STRIP SURFACE VEGETATIVE COVER, TOPSOIL AND ROOT MAT TO EXPOSE STABLE NATURAL SOILS.

NATURAL SOILS ARE ANTICIPATED TO CONSIST OF BROWN SILTY CLAY/CLAY-SILT, LITTLE FINE TO COARSE SAND, TRACE GRAVEL (GLACIAL TILL), TOPSOIL CAN BE USED IN LANDSCAPING OR AS FILL IN BORROW PIT OR OTHER "NON-STRUCTURAL" AREAS. CARE SHOULD BE TAKEN NOT TO STRIP THE STRAINED CLAY MATERIAL UNLESS REQUIRED TO REACH STABLE SOIL. STRIPPING MUST BE DOCUMENTED.

2. ONCE STRIPPING HAS BEEN APPROVED, PROOF-ROLL THE EXPOSED SUBGRADES PRIOR TO PLACEMENT OF FILL. UNDERCUT ANY SOFT SOILS ENCOUNTERED AND BACKFILL WITH COMPACTED MATERIAL TO A STABLE SURFACE, OR STABILIZE SUBGRADE IN PLACE BY DISKING, DRYING, AND RECOMPACTION. USE OF LIME OR CRUSHED AGGREGATE CAN BE CONSIDERED UNDER CERTAIN CONDITIONS TO HELP STABILIZE SUBGRADES, IF REQUIRED.
3. NATURAL NON-ORGANIC SITE SOILS ARE ACCEPTABLE FOR USE AS STRUCTURAL FILL. SUITABLE MATERIAL SHOULD BE AVAILABLE FROM THE POND EXCAVATIONS. SOME MOISTURE ADJUSTMENT MAY BE NECESSARY, DEPENDING ON WEATHER CONDITIONS AT THE TIME OF EARTHWORK. ANY OFF-SITE BORROW SHOULD BE REVIEWED BY A GEOTECHNICAL ENGINEER PRIOR TO ITS USE.
4. PLACE FILL IN 8 IN LOOSE LIFTS AND COMPACT TO 95% OF THE OPTIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698). SITE FILLS SHOULD BE PLACED SLIGHTLY ABOVE (0 TO +2%) THE OPTIMUM STANDARD PROCTOR MOISTURE CONTENT. THE SITE SOILS WILL GENERALLY COMPACT BEST WITH A SHEEPSFOOT ROLLER. DENSITY COMPACTION TESTING SHOULD BE PERFORMED ON EACH LIFT, WITH THE SUCCESSIVE LIFT NOT PLACED UNTIL THE PREVIOUS LIFT HAS BEEN APPROVED.
5. ANY BASIN FILL PERFORMED WITHIN THE RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENTS SHALL COMPLY WITH ODOT CMS ITEM 203, EMBANKMENT, AND ALL ODOT SUPPLEMENTAL SPECIFICATIONS THERETO.

UTILITY COMPANIES

ELECTRIC:
 UNION RURAL ELECTRIC
 15461 U.S. HIGHWAY 36
 MARYSVILLE, OH 43040
 (937) 642-1826

CABLE:
 CHARTER SPECTRUM
 3691 TURNER RD.
 DAYTON, OH 45415
 (614) 481-5263
 (614) 425-7384

PHONE:
 FRONTIER
 19 E. CENTRAL AVE. #1944
 DELAWARE, OH 43015
 (740) 383-0686
 (918) 295-7156

GAS:
 COLUMBIA GAS OF OHIO
 1600 DUBLIN ROAD
 COLUMBUS, OH 43215

UNION COUNTY HEALTH DEPARTMENT NOTES

1. THE LOCATION, OPERATION, AND MAINTENANCE OF EACH WELL OR ANY OTHER PRIVATE WATER SYSTEM (PWS) SHALL BE PROPERLY MAINTAINED AND OPERATED ACCORDING TO THE REQUIREMENTS OF CHAPTER 3701-28-07 OF THE OHIO ADMINISTRATIVE CODE (OAC).
2. A PRIVATE WATER SYSTEM SHALL BE LOCATED ONLY WHERE THE SYSTEM AND ITS SURROUNDINGS CAN BE MAINTAINED IN A SANITARY CONDITION, AND ONLY WHERE SURFACE AND SUBSURFACE CONDITIONS WILL NOT PERMIT CONTAMINATION OF THE PRIVATE WATER SYSTEM OR AQUIFER. A PWS SHALL BE LOCATED THE MAXIMUM PRACTICAL DISTANCE FROM A KNOWN OR SUSPECTED SOURCE OF CONTAMINATION, AND SHALL BE LOCATED SO THAT IT IS ACCESSIBLE FOR CLEANING, TREATMENT, REPAIR, ALTERATION, TESTING, AND SUCH OTHER ATTENTION AS MAY BE NECESSARY.
3. WHEN A REPLACEMENT PWS OR A PUBLIC WATER SUPPLY SYSTEM IS INSTALLED THE WELL THAT IS NOT PROVIDING THE PRIMARY SOURCE OF WATER SHALL BE SEALED PURSUANT TO THE PROVISIONS OF THIS RULE WITHIN THIRTY DAYS, UNLESS CERTAIN CONDITIONS WITHIN 3701-28-17 OF THE OAC CAN BE MET.
4. THE SEWAGE TREATMENT SYSTEMS (STS) SHOWN CONFORM TO THE REGULATIONS OF THE BOARD OF HEALTH OF THE UNION COUNTY GENERAL HEALTH DISTRICT'S SEWAGE TREATMENT SYSTEM RULES PART (CHAPTER) 3701-29.
5. THE OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THE HEREIN DELINEATED LOTS AGREE THAT WHEN A CENTRAL SEWAGE SYSTEM BECOMES AVAILABLE, SAID LOT SHALL BE CONNECTED TO SAID CENTRAL SEWER. ACCEPTANCE OF TITLE TO A DELINEATED LOT FOR THE SUBDIVISION SHALL CONSTITUTE WAIVER OF FURTHER NOTICE OF HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED IN CONVEYANCE OF TITLE FOR SAID LOT(S). ALL FEES AND COST ASSOCIATED WITH THE CONNECTION TO CENTRAL SEWER ARE THE RESPONSIBILITY OF THE HOMEOWNER AT THE TIME OF THE INSTALLATION AND CONNECTION.
6. A DESIGN OR LAYOUT PLAN NEEDS TO BE APPROVED BY UNION COUNTY HEALTH DEPARTMENT PRIOR TO PERMITTING.
7. PRIOR TO ANY ADDITIONAL BUILDINGS ON THE SITE, THE OWNER MUST COORDINATE WITH THE UNION COUNTY HEALTH DEPARTMENT TO DETERMINE THAT THE APPROVED ONSITE STS LOCATIONS (PRIMARY AND SECONDARY) ARE NOT IN CONFLICT WITH THE OWNERS DESIRED CONSTRUCTION AND/OR EXCAVATION PLANS.
8. DEPENDING ON THE STS TYPE CHOSEN AND THE FINAL HOUSE/PLUMBING ELEVATIONS, A DOSING TANK/PUMP MAY BE REQUIRED FOR DELIVERING SEWAGE EFFLUENT TO THE SEWAGE TREATMENT SYSTEM AREAS.

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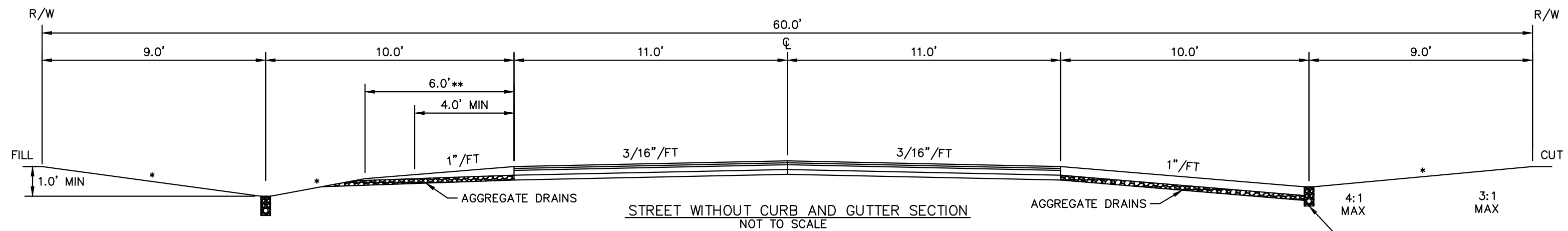
GENERAL NOTES

**PRELIMINARY ENGINEERING PLAN
 FOR
 AVONDALE**
STATE ROUTE 736
 PLAIN CITY, OHIO 43064

ORIGINAL ISSUE:
 3/17/2025
 KHA PROJECT NO.
 190363000

SHEET NUMBER
2
 OF 10

No.	REVISIONS	DATE	BY



- * 4:1 DESIRABLE MAXIMUM
- * 3:1 DESIRABLE MAXIMUM
- ** 4' WHERE GUARD RAIL IS NOT REQUIRED

- NOTES:
1. VERTICAL SCALE IS EXAGGERATED
 2. AGGREGATE DRAINS AT 100' INTERVALS IN ACCORDANCE WITH ODOT STANDARD DRAWING BP-5
 3. GUARD RAIL REQUIRED FOR FILLS 6' OR GREATER
 4. NOT TO SCALE

SEE SEPARATE DETAIL: UNION COUNTY STANDARD CONSTRUCTION DRAWING 10

ORIGINAL ISSUE:
3/17/2025

KHA PROJECT NO.
190363000

SHEET NUMBER

3

OF 10

PRELIMINARY ENGINEERING PLAN
FOR
AVONDALE
STATE ROUTE 736
PLAIN CITY, OHIO 43064

TYPICAL SECTIONS

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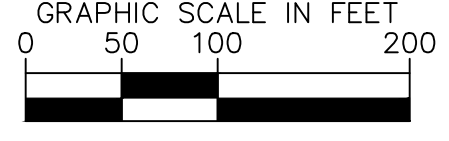
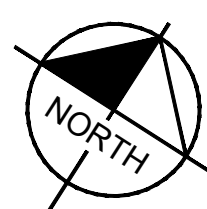
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Drawing name: K:\CIBL_DEV\190363000_Sov Real Estate_Jerome_DNA\2_Design\CAD\PlanSheets\Preliminary Engineering Plan\Existing Conditions.dwg Mar 20, 2025 10:21am by: wacob.wentz
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LEGEND

- — — — — EXISTING PROJECT BOUNDARY LINE
- — — — — EXISTING PROPERTY LINE
- — — — — EXISTING RIGHT-OF-WAY
- — — — — EXISTING PAVEMENT
- — — — — EXISTING CENTERLINE
- — — — — EXISTING EASEMENT
- — — — — EXISTING MINOR CONTOUR
- — — — — EXISTING MAJOR CONTOUR
- — — — — EXISTING DRIVEWAY
- — — — — EXISTING BUILDING/STRUCTURE
- — — — — EXISTING STORM SEWER PIPE
- — — — — EXISTING STORM SEWER INLET/CATCH BASIN
- — — — — EXISTING SANITARY SEWER PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING WATER VALVE
- — — — — EXISTING OVERHEAD LINE
- — — — — EXISTING FENCE LINE
- — — — — EXISTING TELECOM BOX
- — — — — EXISTING POWER POLE
- — — — — DO NOT DISTURB
- — — — — TO BE REMOVED

LEGEND

- Ag — ALGIERS SILT LOAM
- Blg1A1 — BLOUNT SILT LOAM, GROUND MORAINES, 0 TO 2 PERCENT SLOPES
- CrA — CROSBY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2 PERCENT SLOPES
- FoB — FOX SILT LOAM, TILL PLAIN, 2 TO 6 PERCENT SLOPES
- Gwg1B1 — GLYNWOOD SILT LOAM, GROUND MORAINES, 2 TO 6 PERCENT SLOPES
- Gwg1B2 — GLYNWOOD SILT LOAM, GROUND MORAINES, 2 TO 6 PERCENT SLOPES, ERODED
- Gwg5C2 — GLYNWOOD CLAY LOAM, GROUND MORAINES, 6 TO 12 PERCENT SLOPES, ERODED
- MIF2 — MIAMIAN SILT LOAM, 18 TO 35 PERCENT SLOPES, MODERATELY ERODED
- Ro — ROSS SILT LOAM
- So — SLOAN SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES, FREQUENTLY FLOODED
- W — WATER
- Wc — WESTLAND SILTY CLAY LOAM

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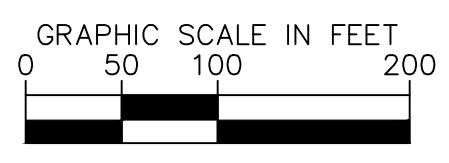
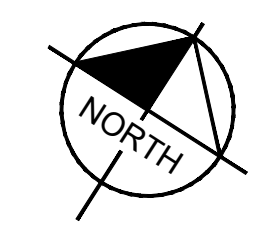
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EXISTING CONDITIONS

**PRELIMINARY ENGINEERING PLAN
 FOR
 AVONDALE**
 STATE ROUTE 736
 PLAIN CITY, OHIO 43064

ORIGINAL ISSUE:
 3/17/2025
 KHA PROJECT NO.
 190363000
 SHEET NUMBER
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Drawing name: K:\CIB_LDEV\190363000_Sov Real Estate_Jerome_OA\2_Design\190363000_Site Plan_9_Site Plan_Mar 20, 2025 9:50am by Jacob Wentz
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LEGEND

---	EXISTING PROPERTY BOUNDARY
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	PROPOSED PROPERTY LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED SETBACK
---	PROPOSED CENTERLINE
---	PROPOSED FACE OF CURB
---	PROPOSED SIDEWALK
x-x	PROPOSED FENCE

LINE TABLE

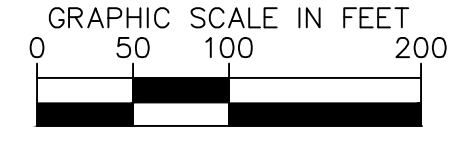
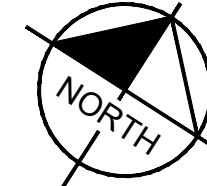
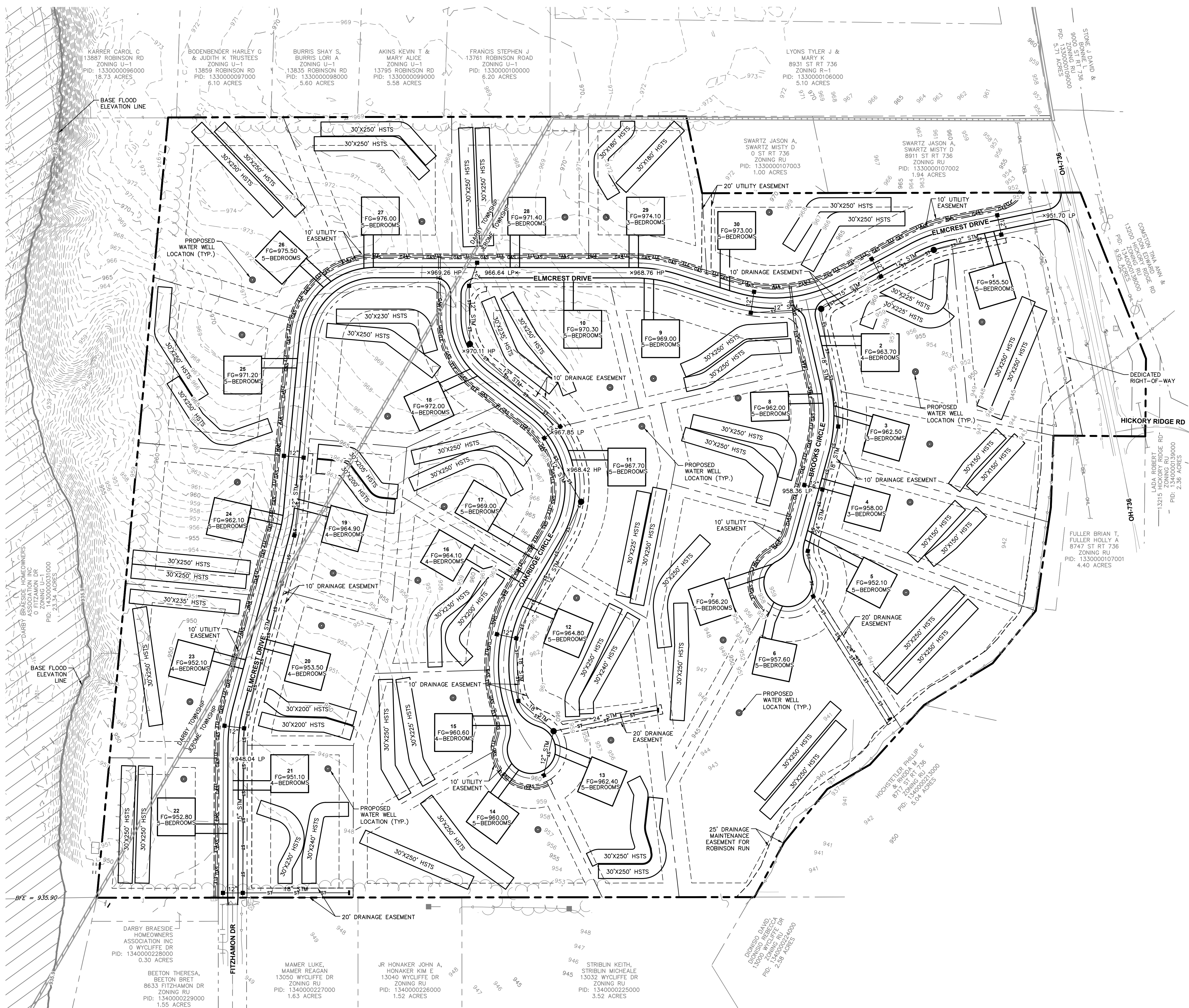
LINE	LENGTH	BEARING
L1	259.51	S45°38'42.11"W
L2	171.49	S29°22'04.22"W
L3	122.42	S74°52'26.94"W
L4	548.59	N57°22'13.02"E
L5	366.90	N27°26'13.96"W
L6	386.65	N17°45'19.15"W
L7	324.16	N32°33'20.19"W
L8	180.73	S45°38'03.89"E
L9	287.31	S17°20'09.08"E
L10	96.26	S32°37'46.98"E
L11	135.12	S84°52'28.83"E
L12	143.65	S21°8'09.66"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	300.00'	85.23'	S37°30'23"W	84.94'	16°16'38"	42.90'
C2	300.00'	238.27'	S52°07'16"W	232.06'	45°30'23"	125.82'
C3	300.00'	91.65'	S66°07'20"W	91.29'	17°30'14"	46.18'
C4	150.00'	222.03'	S14°58'00"W	202.31'	84°48'27"	136.99'
C5	300.00'	50.69'	S22°35'47"E	50.63'	9°40'55"	25.41'
C6	300.00'	77.49'	S25°09'20"E	77.28'	14°48'01"	38.96'
C7	300.00'	148.17'	S31°29'06"E	146.67'	28°17'55"	75.63'
C8	150.00'	136.78'	S58°45'08"E	132.09'	52°14'42"	73.56'
C9	200.00'	288.23'	S43°35'19"E	263.93'	82°34'19"	175.62'
C10	300.00'	349.90'	S35°42'56"E	330.40'	66°49'33"	197.91'

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SCALE: AS NOTED	DESIGNED BY: NSS	DRAWN BY: JDW	CHECKED BY: NSS					
SITE PLAN								
PRELIMINARY ENGINEERING PLAN FOR AVONDALE								
STATE ROUTE 736 PLAIN CITY, OHIO 43064								
ORIGINAL ISSUE: 3/17/2025								
KHA PROJECT NO. 190363000								
SHEET NUMBER								
5								
OF 10								
							REVISIONS	
							DATE	
							BY	

Drawing name: K:\CIB\DEV\190363000_Sov Real Estate_Jerome_OA\2_Cad\PlanSheets\Preliminary Engineering Plan\Utility & Grading Plan Mar 20, 2025 9:50am by Jacob Weitz
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LEGEND

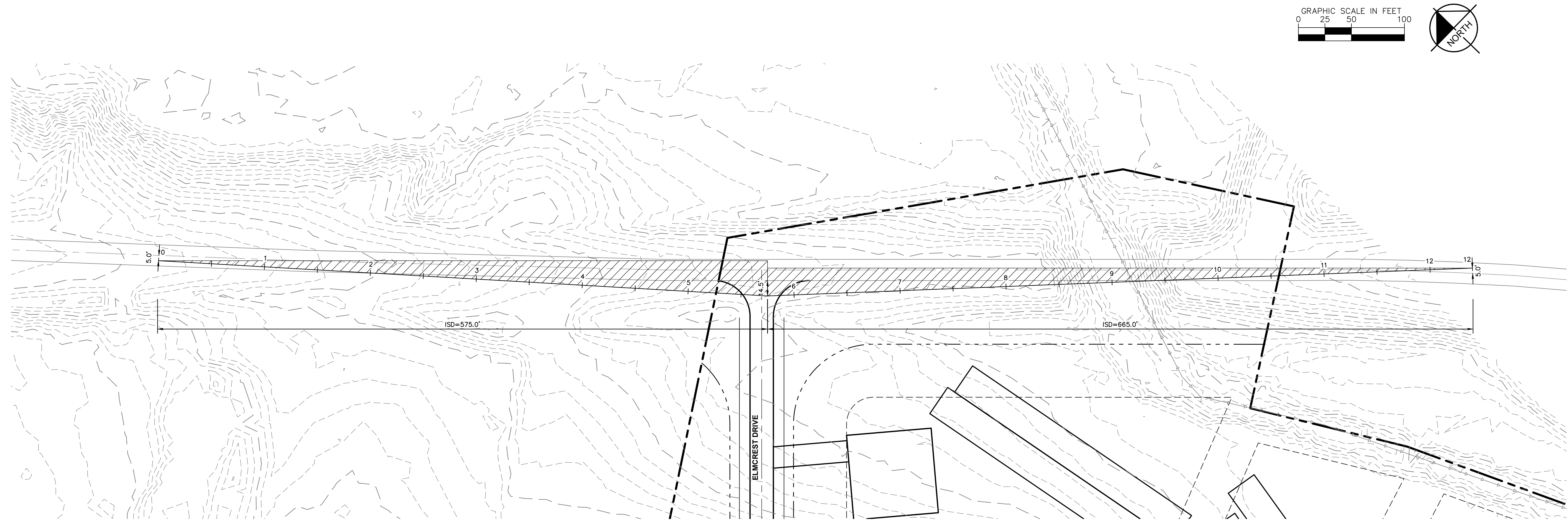
- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- 738- EXISTING INTERMEDIATE CONTOUR
- 740- EXISTING INDEX CONTOUR
- EXISTING VEGETATION
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK
- PROPOSED CENTERLINE
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
- x-x- PROPOSED FENCE
- ELE-ELE- PROPOSED UNDERGROUND ELECTRIC
- GAS-GAS-GAS- PROPOSED GAS LINE
- ST-ST-ST- PROPOSED STORM SEWER PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED WELL LOCATION
- ▨ EXISTING FLOODWAY

NOTES

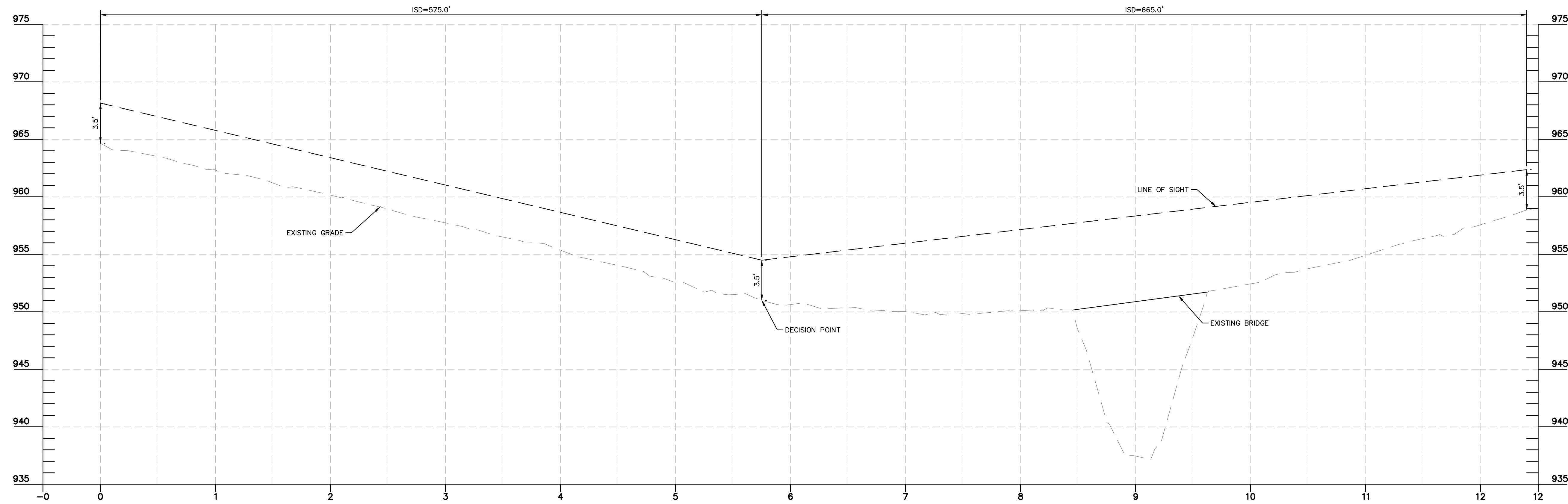
1. ALL SHOWN PROPOSED WELL LOCATIONS MEET THE REQUIRED 50' SETBACK FROM THE SHOWN SEPTIC FOOTPRINTS
2. ALL GAS AND ELECTRIC SERVICE LINES TO EACH INDIVIDUAL DWELLING SHALL NOT INTERFERE WITH THE INDICATED WELL/SEPTIC LOCATIONS AND SHALL MEET ALL REQUIRED SETBACKS AS SET FORTH IN THE OAC 3701-28 & OAC 3701-29
3. THERE SHALL BE NO PERMANENT STRUCTURES OR PLANTINGS, ETC PERMITTED IN EASEMENT AREA
4. ADDING/REMOVING LOTS OR CHANGING THE RIGHT-OF-WAY WILL REQUIRE AN AMENDED PRELIMINARY PLAT.

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UTILITY & GRADING PLAN								
PRELIMINARY ENGINEERING PLAN FOR AVONDALE								
STATE ROUTE 736 PLAIN CITY, OHIO 43064								
ORIGINAL ISSUE: 3/17/2025								
KHA PROJECT NO. 190363000								
SHEET NUMBER 6								
DATE _____ BY _____								

Drawing name: K:\CIB_LDEV\190363000_Sov Real Estate_Jerome_OA\2_Design\CAD\PlanSheets\Preliminary Engineering Plan\Sight Distance Exhibit_7_SIGHT DISTANCE EXHIBIT_ Mar 20, 2025 9:12am by Jacob Wertz
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**OH STATE ROUTE 736 / ELMCREST DRIVE
SIGHT DISTANCE PLAN**
SPEED LIMIT=55 MPH
DESIGN SPEED=60 MPH



**OH STATE ROUTE 736 / ELMCREST DRIVE
SIGHT DISTANCE PROFILE**
SCALE H:1"=50' ; V:1"=5'

NOTES

1. DESIGN SPEED: 60 MPH
2. INTERSECTION SIGHT DISTANCE (LEFT TURN): 665 FT
3. INTERSECTION SIGHT DISTANCE (RIGHT TURN): 575 FT

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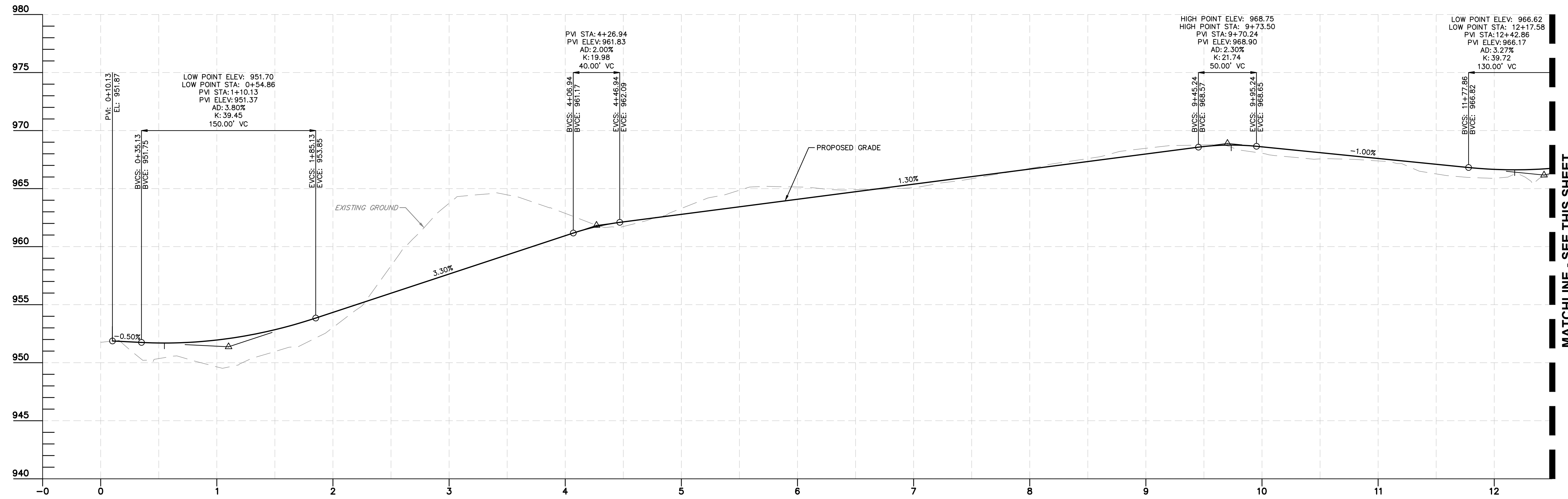
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**SIGHT DISTANCE
EXHIBIT**

**PRELIMINARY ENGINEERING PLAN
FOR
AVONDALE**
STATE ROUTE 736
PLAIN CITY, OHIO 43064

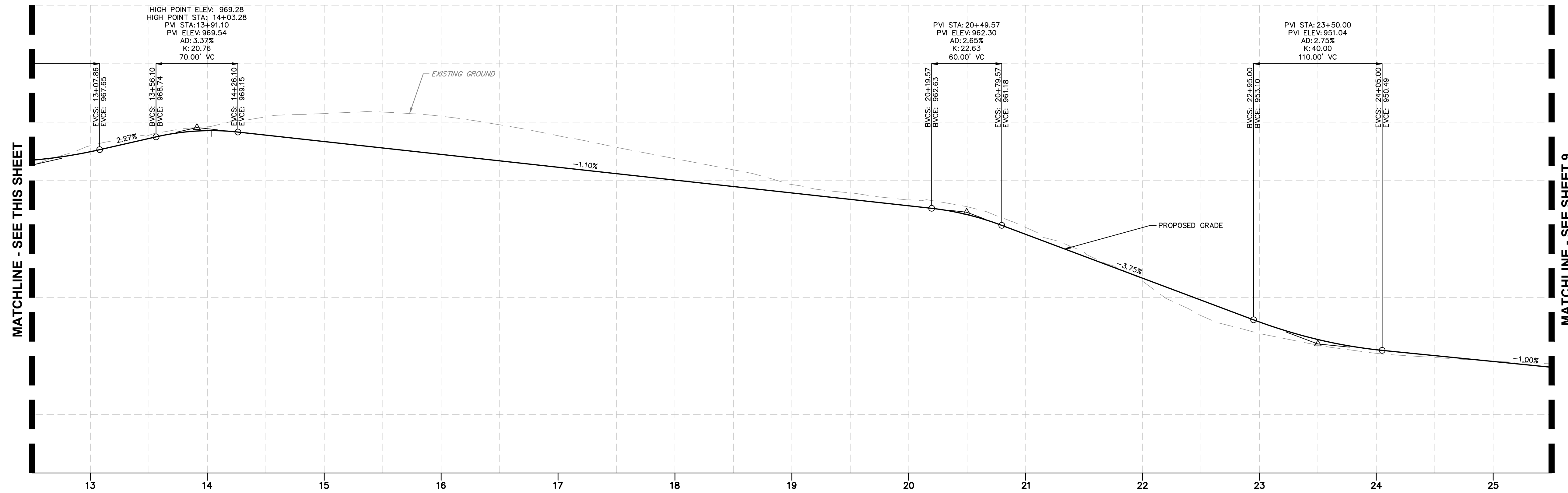
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KHA PROJECT NO.
190363000
SHEET NUMBER

Drawing name: K:\CIB_LDEV\190363000_Sov Real Estate_Jerome_OA\2_Design\CAD\PlanSheets\Preliminary Engineering Plan\Street Profiles.dwg 8 STREET PROFILES Mar 20, 2025 9:12am By: Jacob Wenz
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ELMCREST DRIVE PROFILE STA 0+00.00 TO 12+50.00

SCALE: H: 1"=50' V: 1"=5'
 DESIGN SPEED=25



ELMCREST DRIVE PROFILE STA 12+50.00 TO 25+50.00

SCALE: H: 1"=50' V: 1"=5'
 DESIGN SPEED=25

MATCHLINE - SEE THIS SHEET

MATCHLINE - SEE THIS SHEET

MATCHLINE - SEE SHEET 9

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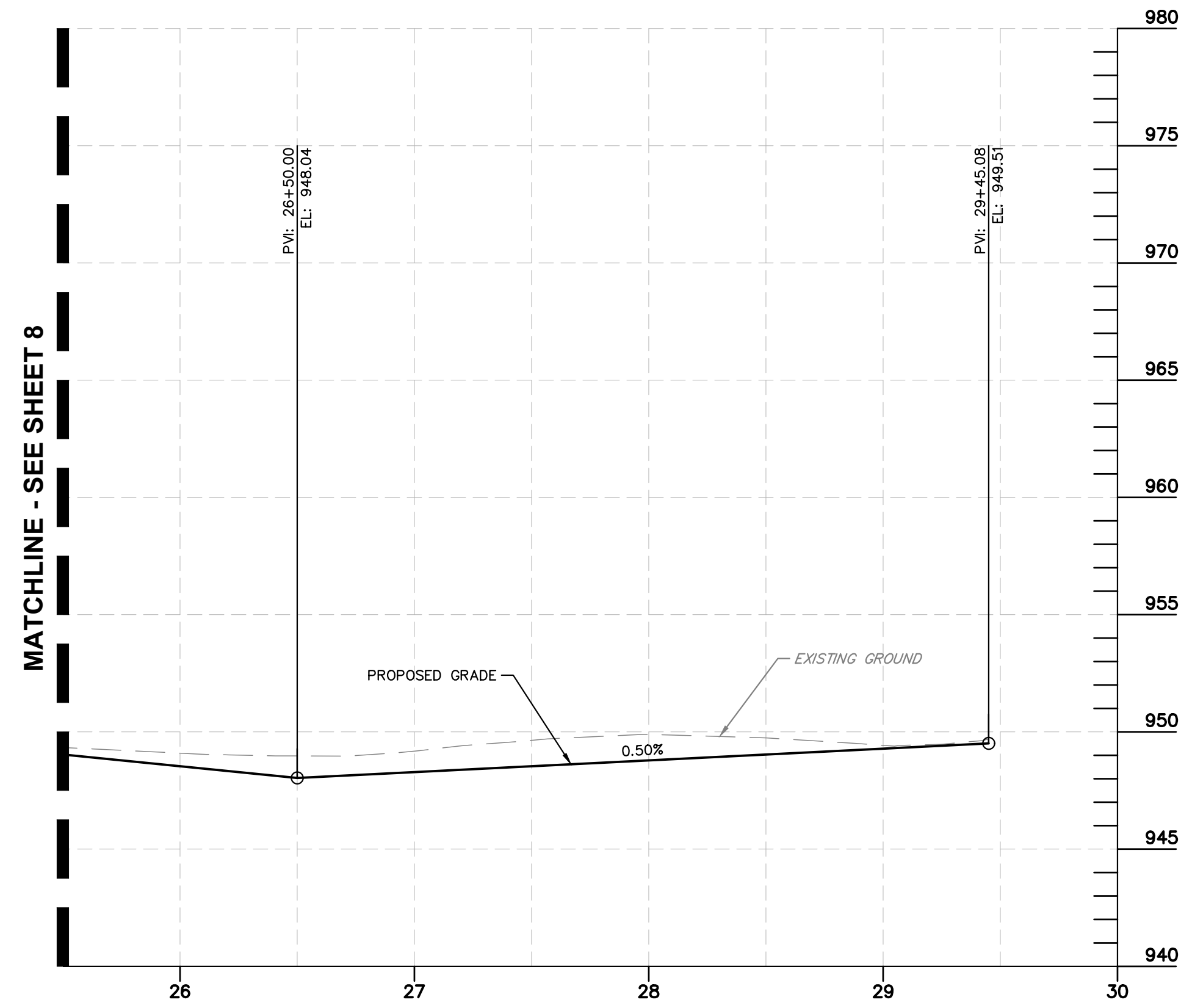
STREET PROFILES

**PRELIMINARY ENGINEERING PLAN
 FOR
 AVONDALE**
 STATE ROUTE 736
 PLAIN CITY, OHIO 43064

ORIGINAL ISSUE:
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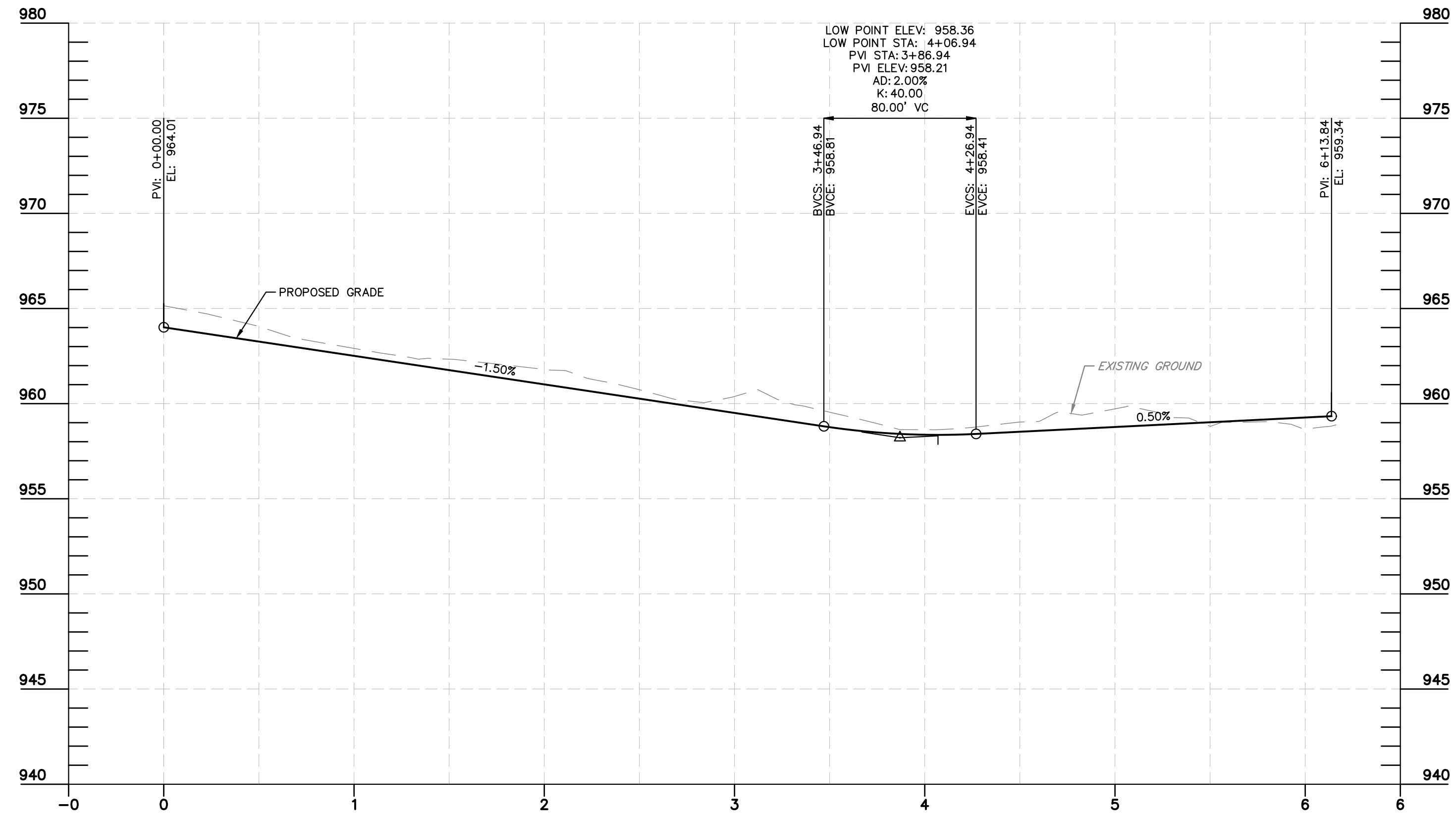
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Drawing name: K:\GIS\DEV\190363000_Sov Real Estate_Jerome.DWG Design\CAD\PlanSheets\Preliminary Engineering Plan\Street Profiles.dwg 9 STREET PROFILES Mar 20, 2025 9:12am By: JacobWentz
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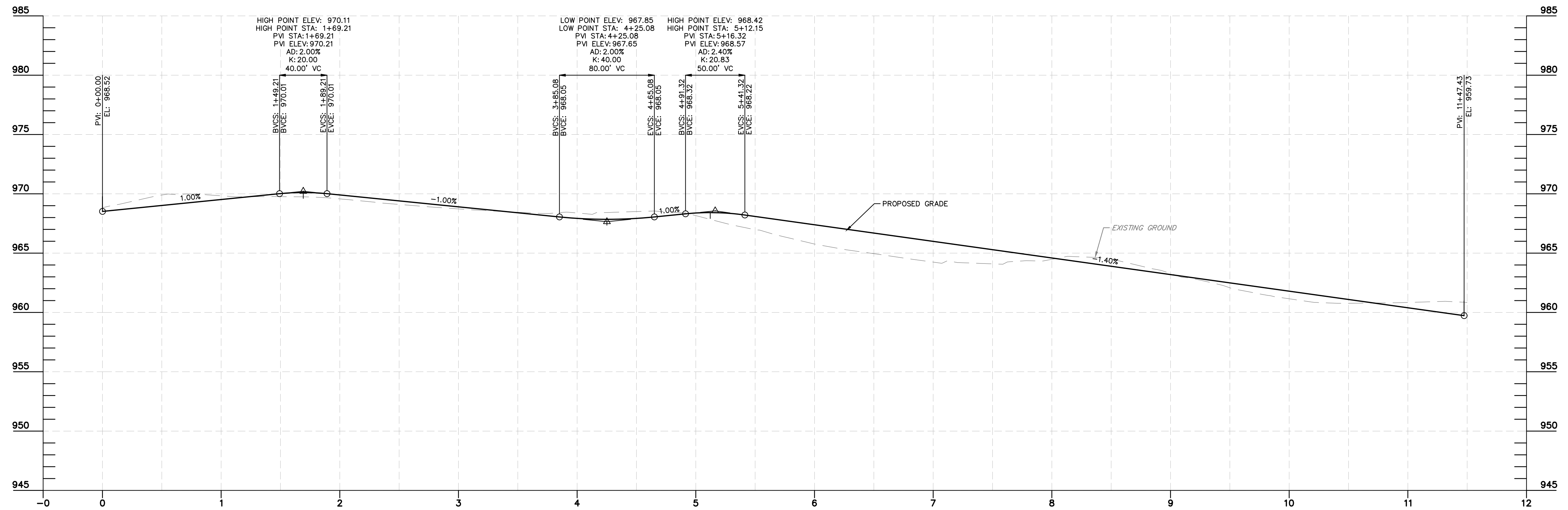
ELMCREST DRIVE PROFILE STA 25+50.00 TO 30+00.00

SCALE: H: 1"=50' V: 1"=5'
 DESIGN SPEED=25



BROOKS CIRCLE PROFILE STA 0+00.00 TO 6+50.00

SCALE: H: 1"=50' V: 1"=5'
 DESIGN SPEED=25



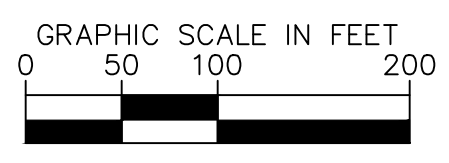
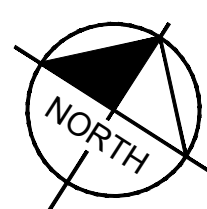
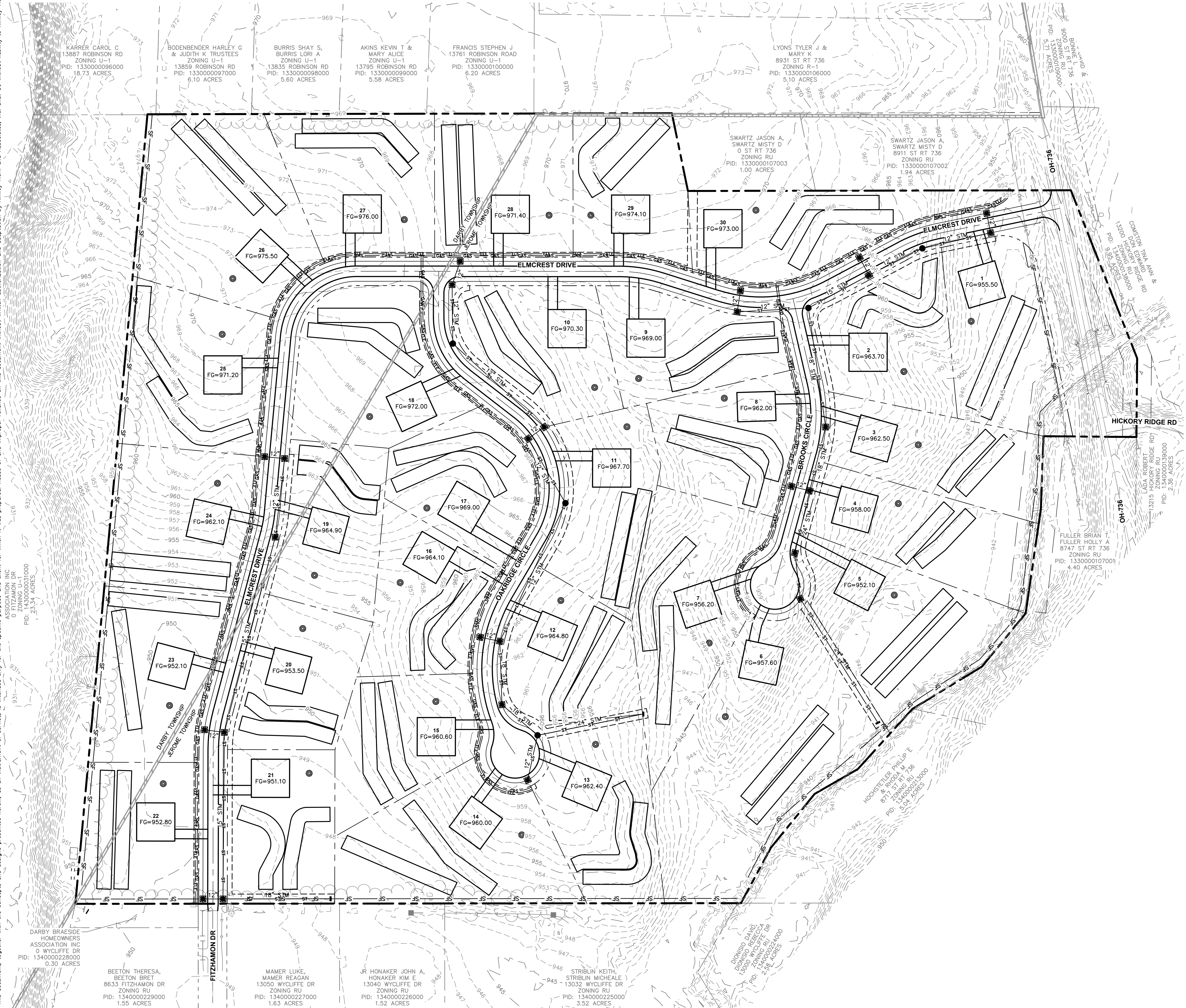
OAKRIDGE CIRCLE PROFILE STA 0+00.00 TO 12+00.00

SCALE: H: 1"=50' V: 1"=5'
 DESIGN SPEED=25

MATCHLINE - SEE SHEET 8

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PRELIMINARY ENGINEERING PLAN FOR AVONDALE STATE ROUTE 736 PLAIN CITY, OHIO 43064			STREET PROFILES
ORIGINAL ISSUE: 3/17/2025			NO.
KHA PROJECT NO. 190363000			REVISIONS
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LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING VEGETATION
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED SETBACK
	PROPOSED CENTERLINE
	PROPOSED FACE OF CURB
	PROPOSED SIDEWALK
	PROPOSED FENCE
	PROPOSED STORM SEWER PIPE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION

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EROSION CONTROL PLAN

PRELIMINARY ENGINEERING PLAN FOR AVONDALE
 STATE ROUTE 736
 PLAIN CITY, OHIO 43064

ORIGINAL ISSUE: 3/17/2025
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