



Zoning & Subdivision Committee

Thursday, October 10, 2019

12:30 pm

- Minutes from last meeting of September 12, 2019
- 1. Review of The Courtyards on Hyland Run Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
- 2. Review of Jerome Village VN-4 Phase 2 Final Plat (Union County) – Staff Report by Brad Bodenmiller
- 3. Review of Jerome Township Zoning Amendment (Union County) – Staff Report by Aaron Smith

Members:

Tyler Bumbalough – City of Urbana Engineer

Scott Coleman – Logan County Engineer

Weston R. Dodds – City of Bellefontaine Code Enforcement

Ashley Gaver – City of Marysville

Charles Hall – Union County Commissioner

Steve McCall – Champaign County Engineer

Bill Narducci – Union County Engineer's Office

Vince Papsidero/Tammy Noble – City of Dublin Planning

Tom Scheiderer – Jefferson & Zane Township Zoning Inspector

Jeff Stauch – Union County Engineer

Robert A. Yoder – North Lewisburg Administrator

Brad Bodenmiller – LUC

Heather Martin – LUC

Aaron Smith - LUC



Staff Report – Glacier Park Neighborhood Section 13

Applicant:	<p>Epcon Communities c/o Bryan Dougherty 500 Stonehenge Parkway Dublin, OH 43017 bdougherty@epconcommunities.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrinevolution.com</p>
Request:	Approval of the The Courtyards on Hyland AKA Glacier Park Neighborhood, Section 13 – Preliminary Plat.
Location:	Located near the northwest corner of the intersection of Hyland-Croy Road and Ryan Parkway in Jerome Township, Union County.

Staff Analysis:	<p>**This staff report was updated since the September 2019 LUC meetings to reflect the revised submittal and related reviewing agency comments.**</p> <p>This Preliminary Plat involves 25.624 acres of land and proposes 99 dwelling units, split between 81 single-family residential lots and 18 duplex (attached) lots.</p> <p>Acreages:</p> <ul style="list-style-type: none"> ○ 5.283 acres of right-of-way (private) ○ 14.140 acres in lots ○ 6.201 acres of open space <p>Proposed utilities:</p> <ul style="list-style-type: none"> ○ City of Marysville public water system ○ Jerome Village collection and City of Marysville public sanitary waste treatment <p>• Union County Engineer’s Office</p> <ul style="list-style-type: none"> ○ The Union County Engineer’s Office submitted comments in an updated letter dated 10-03-19. The Engineer’s Office recommended approval subject to modifications and recommendations being addressed
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Staff Report – Glacier Park Neighborhood Section 13

in the final Construction Drawings or resolved as indicated.

1. A traffic impact study (TIS) has been submitted for this, and several other proposed development pods not accounted for in the Jerome Village Master TIS dated February, 2007. Developer installed improvements and contributions to offsite intersections will be memorialized in an Infrastructure Agreement currently being finalized between the Developer and Union County.
2. The right-of-way, streets, and majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, we recommend establishing an infrastructure ownership table to clarify the responsibilities of all right-of-way, roads, utilities, stormwater infrastructure, etc.
3. Provide information regarding any master trails and/or Jerome Village/HOA maintained fencing or landscaping in the Construction Drawings.
4. All stormwater infrastructure will be reviewed in more detail during the final Construction Drawing review process.
5. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
6. Provide a stormwater management report for review.
7. Provide detailed Construction Drawings to private utility providers.

• **Union County Soil & Water Conservation District**

- No comments received as of 10-02-19.

• **Union County Health Department**

- No comments received as of 10-02-19. Standard comments from the Health Department are below:
 1. “All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a



Staff Report – Glacier Park Neighborhood Section 13

private water system (PWS) and or sewage treatment system (STS).”

2. “Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200’ of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department.”
3. “If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS.”

• **City of Marysville**

- The City of Marysville submitted comments in an updated letter dated 10-02-19. The City recommended approval subject to the applicant addressing its comments as part of the final Construction Drawings.
 1. It is suggested that a water line be stubbed to the southwest corner of the property along Clare Way.
 2. For isolation purposes, additional valves may need to be placed during the Final Engineering process.

• **Jerome Township**

- Jerome Township submitted comments in a letter dated 08-28-19. The Township did not see a reason the Preliminary Plat could not move forward so far as the items mentioned are addressed. The Township recommended the Final Development Plan be approved prior to submitting for the Final Plat. Concerns from the Township are listed below:
 1. The zoning allows for 90 lots; 99 lots are proposed. It is possible that a 10% increase in density might be allowed, but the Township needs clarification.
 2. The zoning allows lot widths of 50 feet and minimum depths of 100 feet; several lots along the entry drive do not meet those minimums.

• **ODOT District 6**

- No comments received as of 10-02-19.



Staff Report – Glacier Park Neighborhood Section 13

	<ul style="list-style-type: none"> • Union Rural Electric <ul style="list-style-type: none"> ○ URE submitted comments in an updated letter dated 09-26-19. Some of those comments are listed below and summarized for reference. (Please refer to letter for all comments.) <ol style="list-style-type: none"> 1. Still need to work with developer to complete UREC facility layout. 2. Do not place easement areas over building setbacks. 3. URE requires 20’ easements for primary and secondary facilities. Electrical facilities can be located within 10’ easements if adjacent property has additional easements or right-of-way for ingress/egress totaling a minimum of 20’. Developer to install creek/stream crossings (directional bore if applicable) 10’ beyond stream protection easements (when applicable). • LUC Regional Planning Commission <ol style="list-style-type: none"> 1. Sheet 1: Please show zoning of adjoining properties (§313, 9.). 2. Label easements and widths. Easements for water and sewer must be a minimum for 20’ and 10’ for other utilities (§313, 12.; §414). 3. A letter from Jerome Township certifying that the Final Plat conforms with the Township’s zoning is required before any approval of the Final Plat may be granted (§401; §412, 1.; §413, 2.). 4. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
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<p>Staff Recommendations:</p>	<p>Staff recommends APPROVAL of The Courtyards on Hyland Run AKA GPN-13 – Preliminary Plat with the condition that all comments/modifications from LUC and reviewing agencies shall be incorporated into the Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat prior to submittal.</p>
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Logan-Union-Champaign
regional planning commission

Staff Report – Glacier Park Neighborhood Section 13

Z&S Committee Recommendations:	
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Application for Preliminary Plat Approval

Date: _____

Name of Subdivision: _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Have **ALL** Sketch Plan review letters been obtained? _____ (Engineer, SWCD, Board of Health)

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Number of proposed lots: _____ Typical lot width (feet): _____

Number of proposed units: _____ Typical lot area (sq. ft.): _____

Single Family Units: _____ Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____



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Director: Bradley J. Bodenmiller

Recreation facilities to be provided: _____

Do you propose deed restrictions? (If yes, attach a copy): Yes ____ No ____

1. Proposed method of Supplying Water Service: _____

2. Proposed method of Sanitary Waste Disposal: _____
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: _____
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____
d.	_____	_____	_____
e.	_____	_____	_____

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____



Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"		
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.		
3	Location by section, range, and township or Virginia Military Survey (VMS).		
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.		
5	Date of survey.		
6	Scale of the plat, north point, and date.		
7	Boundaries of the subdivision and its acreage.		
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.		
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.		
10	Zoning classification of the tract and adjoining properties.		
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.		
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.		
13	Layout, names and widths of proposed streets and easements.		
14	Building setback lines with dimensions.		
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.		
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.		
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.		



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18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		
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Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.		
20	Description of proposed covenants and restrictions.		
21	Description of proposed zoning changes.		
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.		
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.		
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	N/A	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	N/A	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.		
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.		
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.		

10820 St Rt 347, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

BENCH MARKS
SOURCE
 FRANKLIN COUNTY ENGINEERING DEPARTMENT MONUMENT 04--0087. ELEV.=998.117 (NAVD 88)

UNION COUNTY BM
 1.2 MILES SOUTH ALONG STATE HIGHWAY 38 FROM THE SOUTH CORPORATION LIMIT OF MARYSVILLE, UNION COUNTY AT THE JUNCTION OF A ROAD LEADING WEST, 33.9' WEST OF THE CENTERLINE OF STATE HIGHWAY 38, 23.8' SOUTH OF THE CENTERLINE OF THE ROAD. 3.0' SOUTH OF A FENCE CORNER POST AND ABOUT 4' LOWER THAN THE HIGHWAY. A UNITED STATES GEOLOGICAL SURVEY STANDARD DISK, STAMPED 1022 AND SET IN THE TOP OF A CONCRETE POST. ELEV.=1019.61 (NAVD 88)

BM#1
 PK NAIL SET IN SIDE OF UTILITY POLE, SOUTH SIDE OF WELLS ROAD, 150'± WEST OF GPS CONTROL POINT #50226
 ELEV.=971.61 (NAVD 88)

BM#10
 RAILROAD SPIKE SET IN THE NORTH SIDE OF POWER POLE, 25'± SOUTH OF THE CENTERLINE OF BROCK ROAD OPPOSITE RESIDENCE #8140.
 ELEV.=994.43 (NAVD 88)

BM#11
 RAILROAD SPIKE SET IN THE NORTH SIDE OF POWER POLE, 25'± SOUTH OF THE CENTERLINE OF BROCK ROAD IN FRONT OF RESIDENCE #7989.
 ELEV.=989.62 (NAVD 88)

BM#12
 RAILROAD SPIKE SET IN NORTH SIDE OF POWER POLE ON THE SOUTHEAST CORNER OF HYLAND-CROY ROAD AND BROCK ROAD.
 ELEV.=996.56 (NAVD 88)

BM#13
 PK NAIL SET IN NORTH SIDE OF POWER POLE ON THE SOUTH SIDE OF WELLS ROAD, 100'± EAST OF GPS CONTROL POINT #50227.
 ELEV.=970.58 (NAVD 88)

STORMWATER MANAGEMENT
 THE STORMWATER MANAGEMENT CALCULATIONS ARE BASED ON THE CRITICAL STORM CALCULATION. DEVELOPED AREAS SHALL BE REQUIRED TO RELEASE THE CRITICAL STORM AND ALL LESSER STORMS AT A RATE NO GREATER THAN THE PREDEVELOPED ONE YEAR STORM EVENT. ALL STORMS OF GREATER INTENSITY THAN THAT OF THE CRITICAL STORM SHALL RELEASE AT THEIR RESPECTIVE PREDEVELOPED RATES PER UNION COUNTY REGULATIONS.

THE EXISTING LAND USE CONSISTS OF VACANT PARCEL THAT HAVE BEEN MOWED, LEFT FALLOW AND FARMED WITH ROW CROPS. THE TRIBUTARY AREAS FOR THIS STUDY ACCUMULATE AND DISCHARGE TO UNNAMED STREAMS TO EAST AND WEST OF PROPERTY.

PROPOSED POND
 PROPOSED DETENTION & RETENTION PONDS WILL BE USED FOR STORMWATER MANAGEMENT PURPOSES. PONDS WILL BE WITHIN AN EASEMENT.

WATER QUALITY
 WATER QUALITY VOLUMES WILL BE CONTAINED IN THE PROPOSED STORMWATER MANAGEMENT BASINS AND RELEASED IN ACCORDANCE WITH THE OHIO EPA NPDES GENERAL PERMIT NO. OHC000005.

FLOODPLAIN
 THE DEVELOPMENT SITE IS LOCATED IN ZONE X, OUTSIDE OF 500-YEAR FLOODPLAIN ON FLOOD INSURANCE RATE MAP, UNION COUNTY, OHIO, #39159C0390D & #39159C0395D, EFFECTIVE DATE DECEMBER 16 2008.

OPEN SPACE
 OPEN SPACE INCLUDING THE DEDICATED OPEN SPACE IN GPN-13 IS TO BE OWNED AND MAINTAINED BY THE COURTYARDS ON HYLAND RUN HOME OWNERS ASSOCIATION. USE OF OPEN SPACE IS TO BE RESTRICTED TO NECESSARY STORMWATER MANAGEMENT FACILITIES, UTILITY EASEMENTS AND RECREATIONAL USE.

ZONING
 ZONED PD AS PART OF THE JEROME VILLAGE DEVELOPMENT APPROVED BY JEROME TOWNSHIP, OCTOBER 1, 2018.

VARIANCE
 VARIANCE TO UNION COUNTY TECHNICAL DESIGN STANDARDS, ARTICLE 1, SECTION 101 - STREET DESIGN, PARTS H, I & J. PART H - HORIZONTAL ALIGNMENT TO DEVIATE FROM THE MINIMUM RADIUS OF 150 FEET. PART I - PAVEMENT WIDTH TO DEVIATE FROM THE 28' CROWNED CURB SECTION AND INSTALL A 26' CROSS SLOPED CURB SECTION FOR ALL THE PRIVATE STREETS WITHIN THE DEVELOPMENT. PART J - CURBS ARE TO BE VARIED FROM THE COUNTY STANDARD 2' CURB IN FAVOR OF A 1' CURB SECTION.

VARIANCE TO UNION COUNTY TECHNICAL DESIGN STANDARDS, ARTICLE 2, SECTION 202 - RIGID PAVEMENTS - THE PROPOSED STREET SECTION IS 6" OF ROLLER COMPACTED CONCRETE, CAPPED WITH 1.5" OF SURFACE ASPHALT. WE REQUEST TO REMOVE THE 4" AGGREGATE BASE.

VARIANCE TO UNION COUNTY TECHNICAL DESIGN STANDARDS, ARTICLE 1, SECTION 102 - INTERSECTION DESIGN - PART A ANGLE OF INTERSECTION - REQUEST TO REDUCE THE 100' OF TANGENT BEYOND THE CENTERLINE INTERSECTION.

INFRASTRUCTURE OWNERSHIP
 RIGHT-OF-WAY IN GPN-13 IS TO BE OWNED AND MAINTAINED BY THE COURTYARDS ON HYLAND RUN HOME OWNERS ASSOCIATION. USE OF RIGHT-OF-WAY TO BE RESTRICTED TO NECESSARY VEHICULAR ACCESS, STORMWATER CONVEYANCE FACILITIES AND UTILITIES.

STORM SEWER WITHIN GPN-13 IS TO OWNED AND MAINTAINED BY COURTYARDS ON HYLAND RUN HOME OWNERS ASSOCIATION. POND AND OUTLET WILL BE ON MAINTAINED BY HOME OWNERS ASSOCIATION.

WATERLINE WITHIN GPN-13 IS TO OWNED AND MAINTAINED BY COURTYARDS ON HYLAND RUN HOME OWNERS ASSOCIATION.

PARKING
 NO PARKING EXCEPT AT DESIGNATED PARKING AREAS ARE PERMITTED WITHIN THE ROADWAYS.

SURVEY DATA		
DESCRIPTION	EXISTING PARCEL ID NUMBER	BOUNDARY SURVEY DATE
MINOR	1700120141000	12/4/2017
MINOR	1700120140000	12/4/2017
RUEGAR	1700120170010	5/14/2018



PRELIMINARY PLAT & PLANS FOR

COURTYARDS ON HYLAND RUN

JEROME VILLAGE, GLACIER PARK NEIGHBORHOOD, SECTION 13

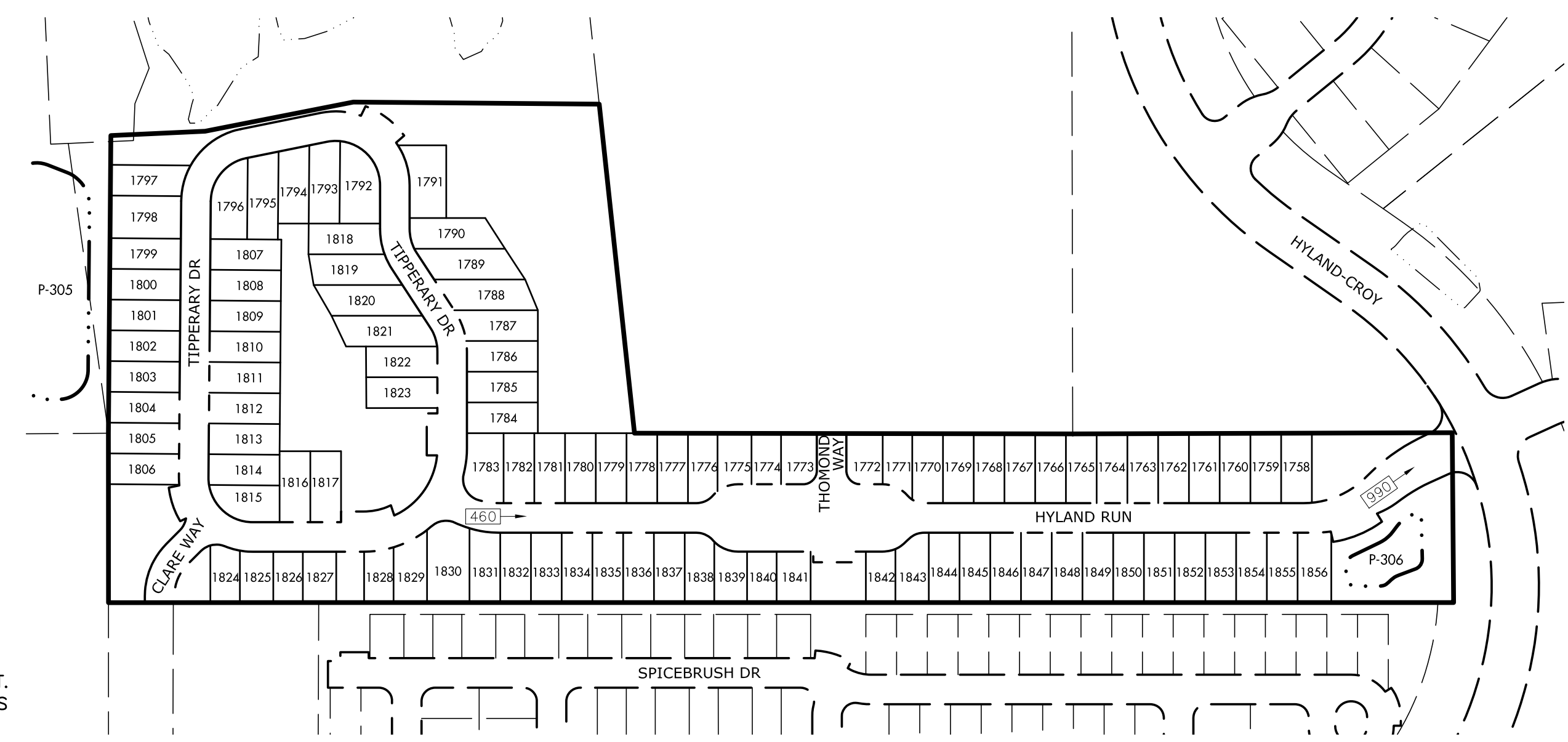
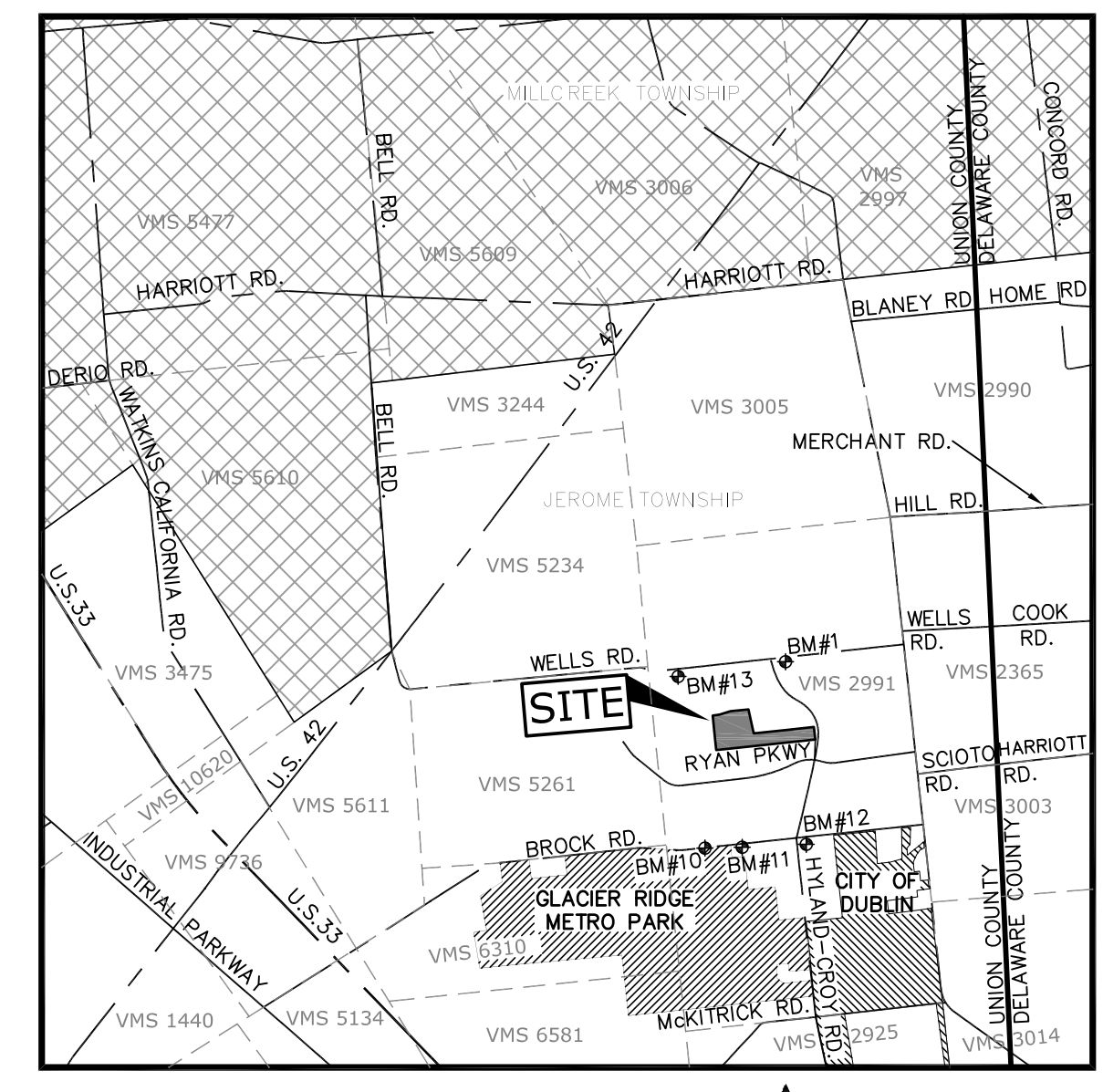
VIRGINIA MILITARY SURVEY (VMS) 2991

JEROME TOWNSHIP, UNION COUNTY, OHIO

DEVELOPER
 EPCON COMMUNITIES
 ATTN: BRYAN DOUGHERTY
 500 STONEHEDGE PARKWAY
 DUBLIN, OH 43017
 P: 614-652-3215

OWNER:
 JEROME VILLAGE
 JEROME VILLAGE COMPANY, LLC
 ATTN: BART BAROK
 375 N. FRONT STREET
 COLUMBUS, OH 43215
 P: 614-857-2334
 F: 614-857-2346

SURVEYOR
 AMERICAN LAND SURVEYORS, LLC.
 ATTN: JON (BRETT) ADCOCK
 1346 HEMLOCK COURT
 LANCASTER, OHIO 43130
 P: 614-837-0800
 F: 740-415-6599



INDEX MAP
 SCALE: 1" = 200'

SHEET INDEX

- 1 COVER SHEET
- 3 TYPICAL SECTION & DETAILS
- 4 PRELIMINARY PLAT
- 5 COMPOSITE UTILITY PLAN
- 6-10 PRELIMINARY STREET PLAN & PROFILE
- 11 EXISTING CONDITIONS PLAN
- 12 COMPOSITE GRADING PLAN
- 13-14 DETAILED GRADING PLAN
- 15 POST DEVELOPED STORMWATER MANAGEMENT PLAN
- 16-17 EROSION & SEDIMENT CONTROL PLAN

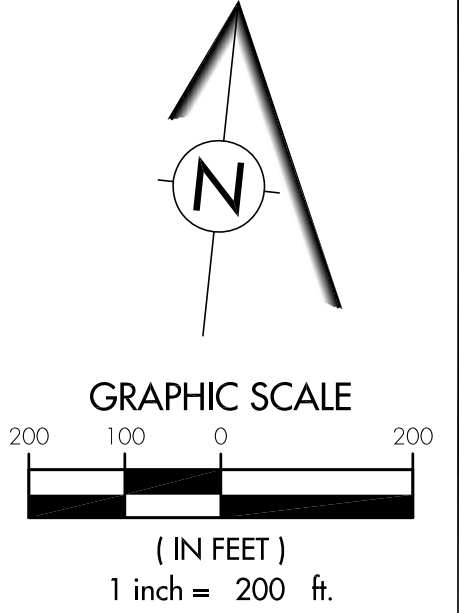
STANDARD DRAWINGS

- | | | |
|--------|--------|-----------|
| ODOT | COM | COC |
| BP-3.1 | WTR-03 | 2319 |
| CB-1.1 | WTR-04 | L-6317A |
| CB-1.2 | WTR-06 | L-6317B |
| CB-1.3 | WTR-09 | |
| CB-1.4 | WTR-18 | UCEQ |
| MH-1.1 | WTR-19 | DWG. NO.7 |
| MH-1.2 | WTR-20 | |
| | WTR-21 | |
| | WTR-23 | |
| | WTR-25 | |

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED
TOTAL AREA (ACRES)	25.624	25.624
OPEN SPACE	6.201	3.345
RIGHT-OF-WAY (50' PRIVATE) LOTS	5.283	14.140
NUMBER OF UNITS	99	90
DUPLEX	18	
SINGLE	81	
DENSITY (UNITS/ACRE)	3.864	3.512
GROSS (# LOTS/TOTAL AREA)	7.001	-
NET (# LOTS/LOT AREA)		
SETBACKS	SINGLE	DUPLEX
FRONT YARD (FROM R/W)	VARIES	0'
REAR YARD	5'	0'
SIDE YARD	5'	0'

DOS = DEDICATED OPEN SPACE
 OSR = OPEN SPACE RESERVE



CHANGE ORDER SCHEDULE	
DATE	DESCRIPTION OF CHANGE

TerrainEvolution
 Your bridge between Vision and Success
 720 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614.385.1090 | F: 614.385.1055 | E: info@terreinevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 COVER SHEET

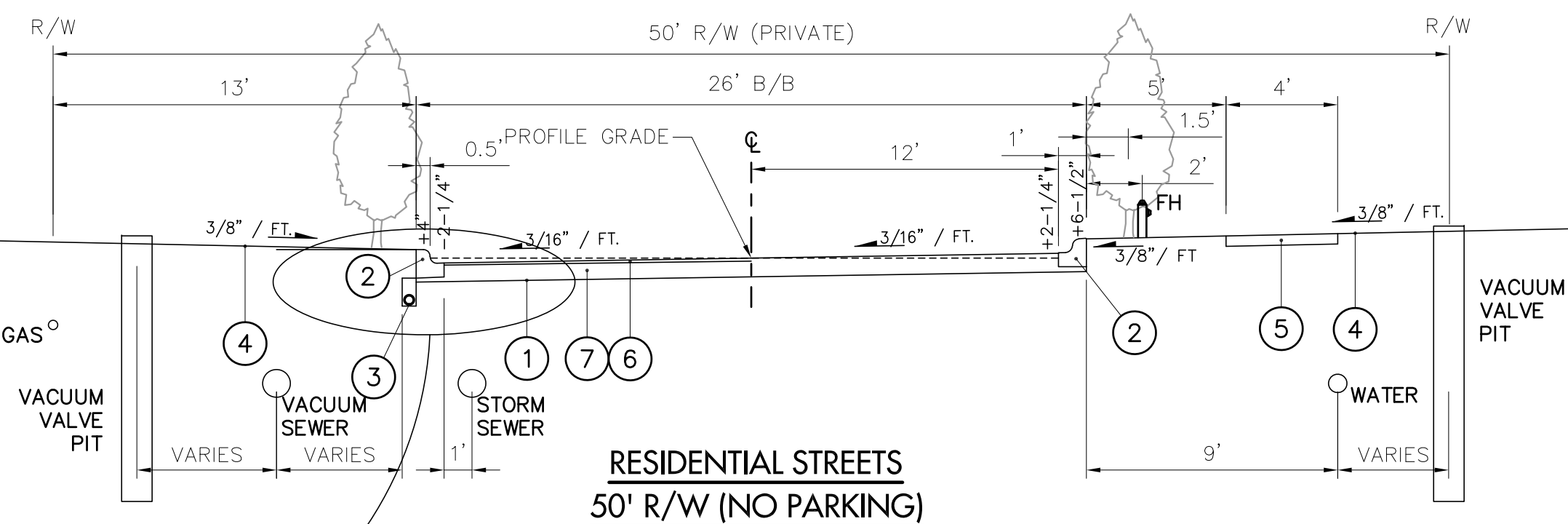
DRAWING SET STATUS:

<input checked="" type="checkbox"/>	PRELIMINARY ENGINEERING SET
<input type="checkbox"/>	AGENCY REVIEW SET
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	AS-BUILT DOCUMENT SET

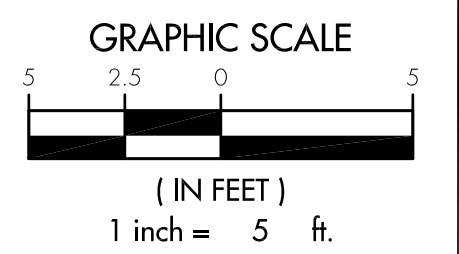
DESIGN	DRAFT	CHECK
DGR	DGR	JPW
PROJECT NO.: 19018		
DATE: SEPTEMBER, 2019		
SCALE: HORIZONTAL: 1" = 200' VERTICAL: N/A		
SHEET NO.:		1/17

N:\19018_19018_COURTYARDS_ON_HYLAND_RUN\19018_COURTYARDS_ON_HYLAND_RUN.dwg (p1) 09/17/2019 10:45:12 am © Terrain Evolution, Inc.

ALL DIMENSIONS ON UTILITIES SHOWN HERE IN THIS SECTION ARE TYPICAL AND ACTUAL LOCATION MAY VARY PER PLAN



- ① ITEM 204, SUBGRADE COMPACTION
 - ② ITEM 609, 12" CONCRETE TILT OUT CURB
 - ③ ITEM 605, 4" PIPE UNDERDRAIN W/NO.8 OR NO.57 STONE
 - ④ ITEM 659, SEEDING & MULCHING
 - ⑤ ITEM 608, 4" CONCRETE SIDEWALK
 - ⑥ ITEM 448, 1-1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, PG 64-22
 - ⑦ 6" ROLLER COMPACTED CONCRETE
- SN = 3.52

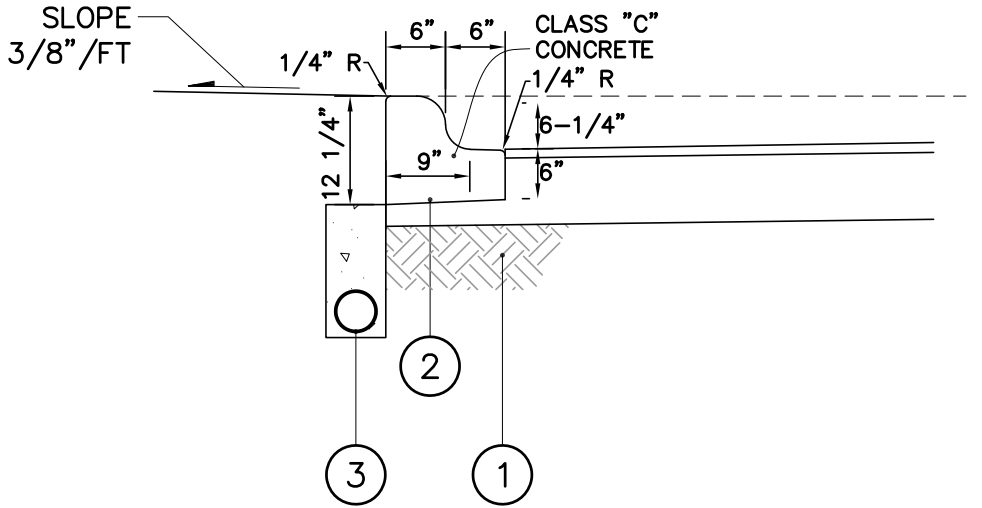


DATE	DESCRIPTION OF CHANGE

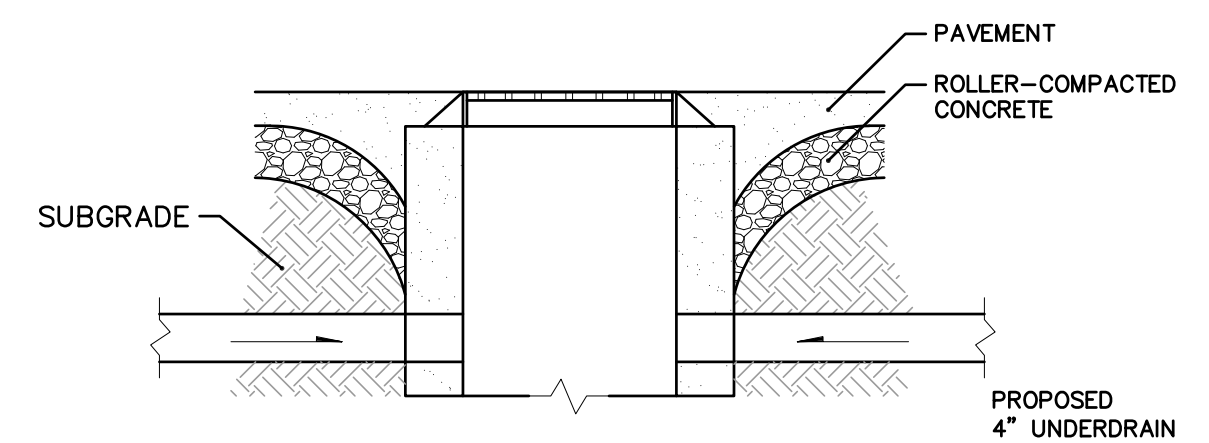
RESIDENTIAL STREETS
50' R/W (NO PARKING)

SCALE: 1"=5'
DESIGN SPEED = 30 MPH
POSTED SPEED = 25 MPH

UTILITY LOCATIONS SHOWN HERE ARE TYPICAL AND ACTUAL LOCATION MAY VARY PER PLAN

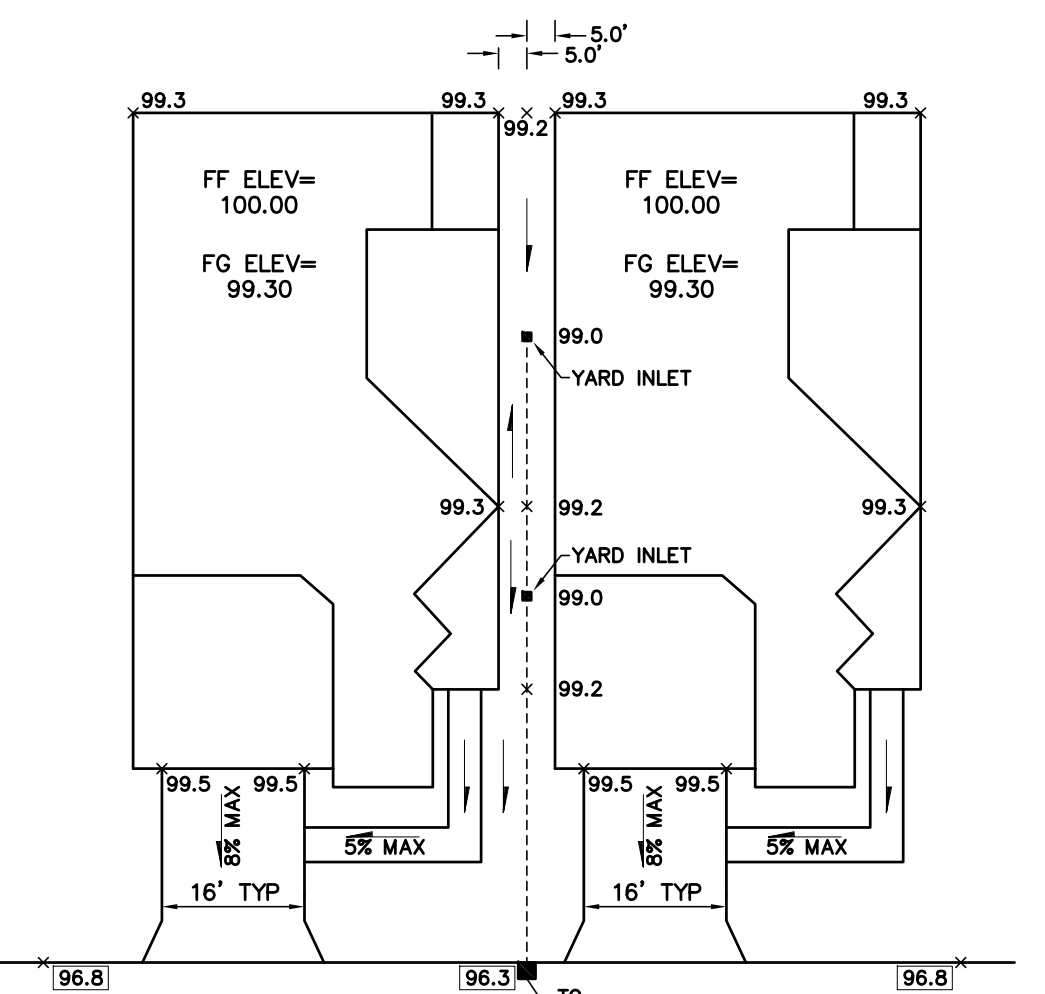


12" CONCRETE TILT OUT CURB
NOT TO SCALE
SEE TYPICAL SECTION FOR PIPE UNDERDRAIN LOCATION



NOTE:
THE CONTRACTOR SHALL INITIALLY SET THE TOP OF CASTING FOR AN INLET STRUCTURE WITHIN THE PAVED AREAS TO THE ELEVATION OF THE ROLLER COMPACTED CONCRETE, ITEM SPEC. PRIOR TO FINAL PAVING OF SURFACE COURSE, ITEM 448, THE CONTRACTOR SHALL ADJUST THE TOP OF CASTING TO FINISH PAVEMENT GRADE. COST OF THE ABOVE SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED PAVING ITEMS.

TYPICAL SECTION FOR STRUCTURES WITHIN PAVEMENT
NOT TO SCALE



X XX.X PAVEMENT / GROUND ELEVATION
X [XX] TOP OF CURB ELEVATION

NOTE:
GRADING BETWEEN BUILDINGS SHALL BE SET RELATIVE TO THE LOWER OF THE TWO ADJACENT BUILDINGS

TYPICAL DETACHED BUILDING GRADING
NOT TO SCALE

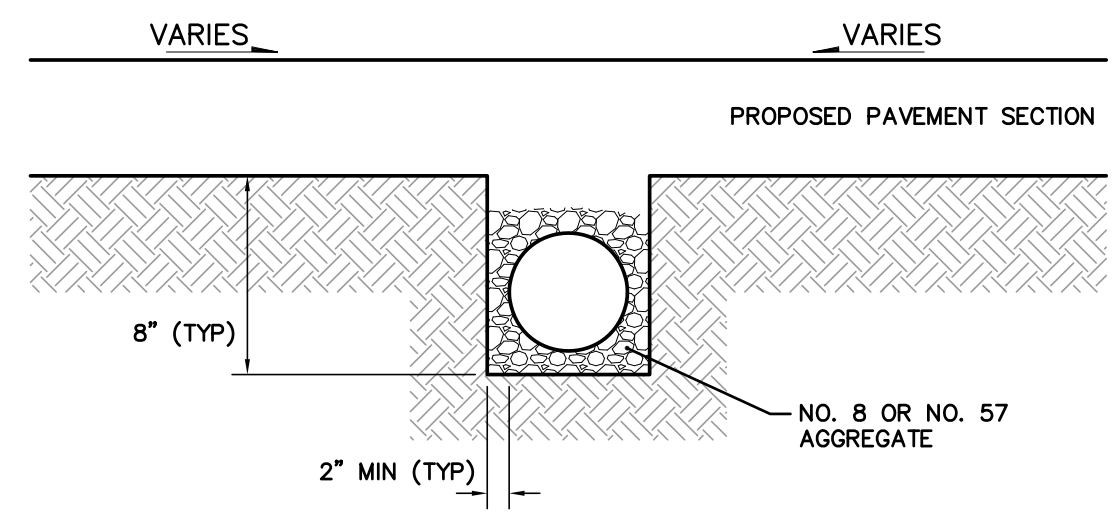
NOTES:
ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE MOST CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), INCLUDING ALL SUPPLEMENTS AND REPLACEMENT DRAWINGS ISSUED THERETO.

ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MINIMUM CROSS-SLOPE OF 2.0%.
TYPE A DETACHABLE WARNING SHALL BE INSTALLED AS PER CITY OF COLUMBUS STANDARD DRAWING 2319

5'-W/IN RIGHT-OF-WAY, ±4'-PRIVATE WALK LANDING AREA, AT TOP AND BOTTOM OF CURB RAMPS, SLOPE NOT TO EXCEED 2.0% MAXIMUM IN ALL DIRECTIONS

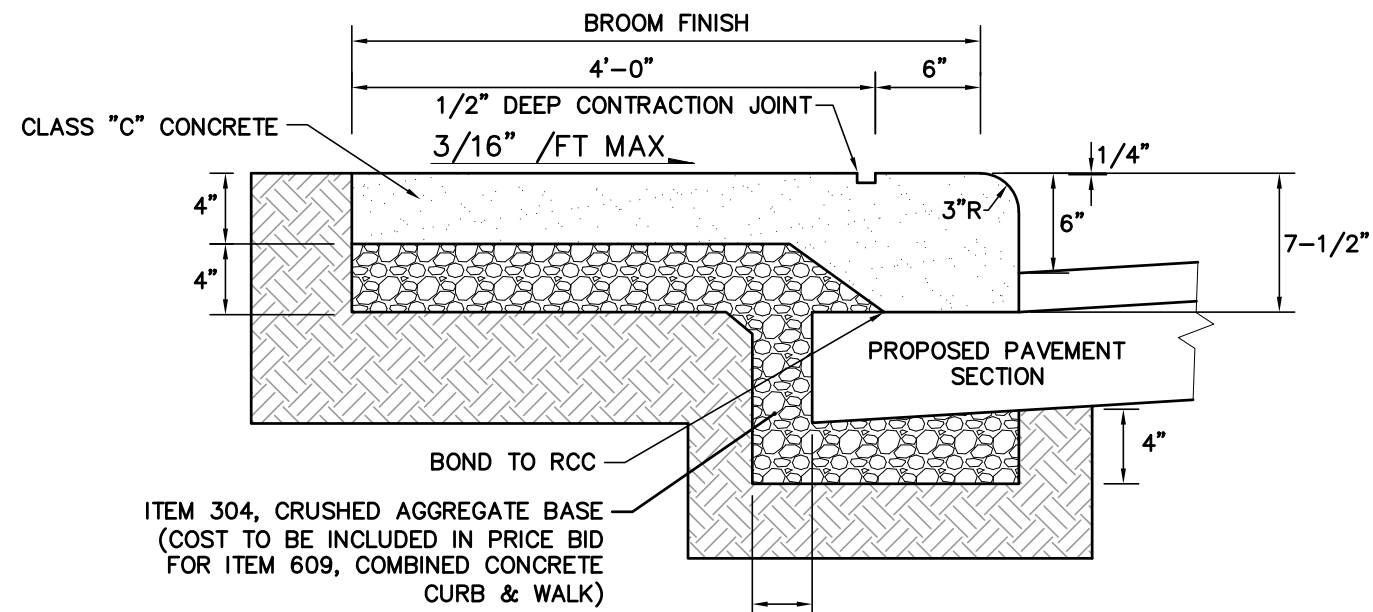
- SIDEWALK RAMPS SHALL NOT EXCEED 7.56% MAXIMUM SLOPE.

* CURB TO TRANSITION FROM FULL HEIGHT 6" TO 0" OVER LENGTH OF RAMP



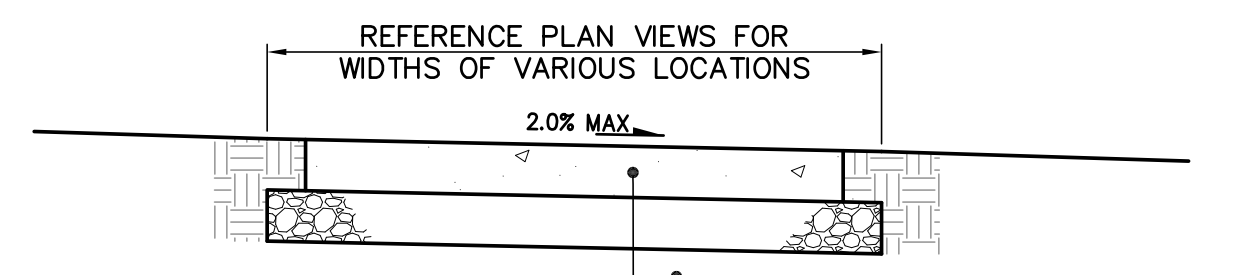
NOTE:
REFERENCE PLAN SHEET FOR PIPE UNDERDRAIN LOCATIONS AND LENGTHS. THE 4" DIAMETER PERFORATED PIPE WILL CONNECT INTO THE DESIGNATED STORM STRUCTURE (WITH INVERTS A MINIMUM OF 18" BELOW TOP OF CASTING). THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION PRIOR TO PLACEMENT OF PROPOSED PAVING. COST SHALL BE INCLUDED IN PRICE BID FOR ITEM 605.

TYPICAL 4" PIPE UNDERDRAIN AT STRUCTURES WITHIN PAVEMENT
NOT TO SCALE



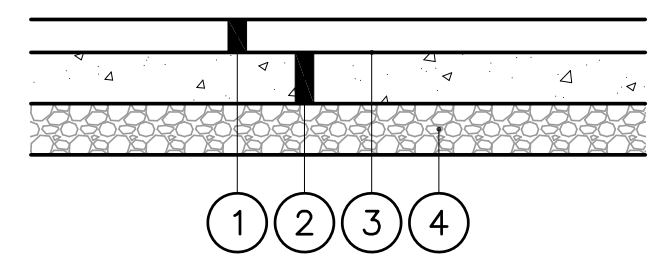
NOTE:
SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH ODOT ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS

STANDARD COMBINED CURB & SIDEWALK
NOT TO SCALE
SEE NOTE "A", THIS SHEET



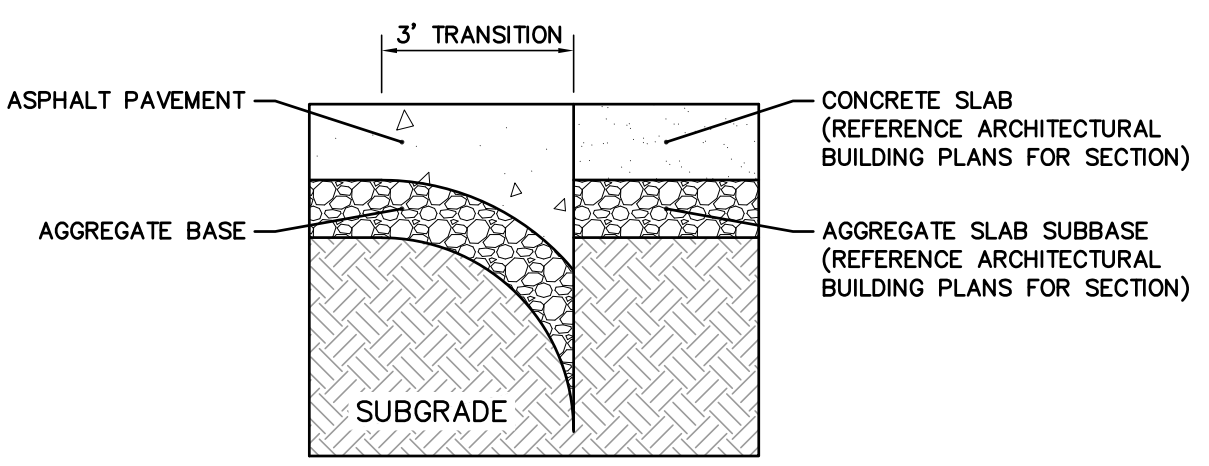
ODOT ITEM 608 - 4" CONCRETE SIDEWALK (CLASS "C" CONCRETE)
ODOT ITEM 304 - 4" CRUSHED AGGREGATE BASE (COST TO BE INCLUDED IN PRICE BID FOR ITEM 608, CONCRETE WALK)

SIDEWALK SECTION
NOT TO SCALE
SEE NOTE "A", THIS SHEET



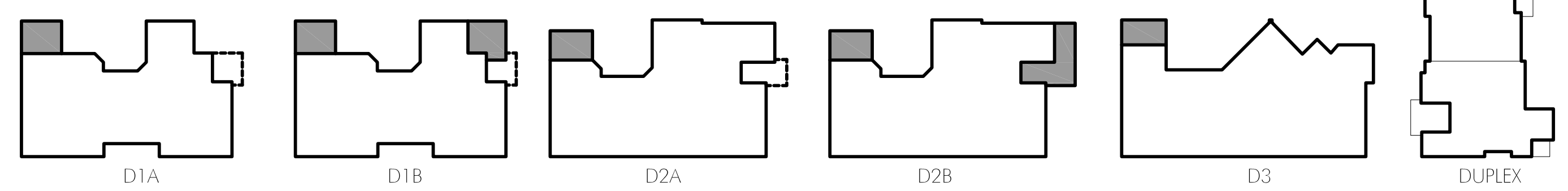
- ① ITEM 448, 2-1/2" ASPHALT CONCRETE
- ② ITEM 304, 8" CRUSHED AGGREGATE BASE
- ③ ITEM 408, BITUMINOUS PRIME COAT (0.40 GAL/SY)
- ④ ITEM 204, SUBGRADE COMPACTION

TYPICAL LIGHT DUTY PAVEMENT SECTION (PRIVATE DRIVEWAYS)
NOT TO SCALE
SEE NOTE "A", THIS SHEET



GARAGE ENTRY APPROACH
NOT TO SCALE

NOTE A:
ALL PAVEMENT MATERIALS SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.



BUILDING TYPES
NOT TO SCALE

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JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
JEROME VILLAGE
GLACIER PARK NEIGHBORHOOD, SECTION 13
TYPICAL SECTION & DETAILS

DRAWING SET STATUS:

- █ PRELIMINARY ENGINEERING SET
- ▣ AGENCY REVIEW SET
- ▣ CONSTRUCTION DOCUMENT SET
- ▣ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

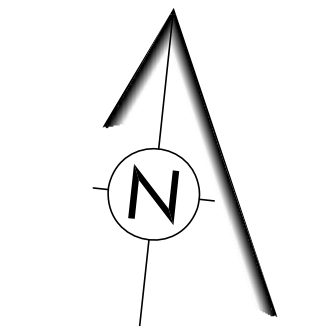
PROJECT NO.: 19018
DATE: SEPTEMBER, 2019
SCALE:
HORIZONTAL: 1" = 5'
VERTICAL: N/A
SHEET NO.: 2/17

JEROME VILLAGE COMPANY, LLC
PID: #1700120141000

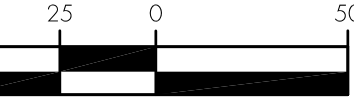
JEROME VILLAGE COMPANY, LLC
PID: #1700120140000

S84°23'32"W 415.95'

RIGHT-OF-WAY CENTERLINE CURVE TABLE					
CURVE #	RADIUS	Δ	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	100.00'	78°03'58"	136.25'	S33°25'31"W	125.95'
C2	100.00'	101°26'59"	177.06'	S56°49'00"E	154.82'
C3	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
C4	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
C5	150.00'	90°00'00"	235.62'	S38°54'29"W	212.13'
C6	100.00'	90°29'03"	157.92'	N50°50'59"W	142.02'
C7	150.00'	32°15'53"	84.47'	S79°57'34"E	83.36'
C8	150.00'	38°32'17"	100.89'	N64°38'21"E	99.00'
C9	150.00'	14°03'56"	36.82'	N52°24'11"E	36.73'
C10	100.00'	44°42'56"	78.04'	S16°14'52"W	76.08'



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED
TOTAL AREA (ACRES)	25.624	25.624
OPEN SPACE	6.201	3.345
RIGHT-OF-WAY (50' PRIVATE)		
LOTS	14.140	
NUMBER OF UNITS	99	90
DUPLEX	18	
SINGLE	81	
DENSITY (UNITS/ACRE)		
GROSS (# LOTS/TOTAL AREA)	3.864	3.512
NET (# LOTS/LOT AREA)	7.001	-
SETBACKS	SINGLE	DUPLEX
FRONT YARD (FROM R/W)	VARIES	0'
REAR YARD	5'	0'
SIDE YARD	5'	0'

DOS = DEDICATED OPEN SPACE
OSR = OPEN SPACE RESERVE

CHANGE ORDER SCHEDULE	DATE	DESCRIPTION OF CHANGE
#		

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JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
JEROME VILLAGE
GLACIER PARK NEIGHBORHOOD, SECTION 13
PRELIMINARY PLAT

DRAWING SET STATUS:

<input checked="" type="checkbox"/>	PRELIMINARY ENGINEERING SET
<input type="checkbox"/>	AGENCY REVIEW SET
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018
DATE: SEPTEMBER, 2019
SCALE: HORIZONTAL: 1" = 50'
VERTICAL: N/A
SHEET NO.: 3/17

DRAINAGE ESMT

JEROME VILLAGE COMPANY, LLC
PID: #1700110120000

JON & KATHY HJELM
PID: #1700120460000

LEGEND

- EXISTING:
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
- PROPOSED:
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
 - BUILDING SETBACK LINE
- DEDICATED OPEN SPACE
- OPEN SPACE RESERVE



JON & KATHY HJELM
PID: #1700120331000
#1700120430000

COURTYARDS AT JEROME VILLAGE
GLACIER PARK NEIGHBORHOOD, SECTION 5

RIGHT-OF-WAY CENTERLINE CURVE TABLE					
CURVE #	RADIUS	Δ	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	100.00'	78°03'58"	136.25'	S33°25'31"W	125.95'
C2	100.00'	101°26'59"	177.06'	S56°49'00"E	154.82'
C3	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
C4	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
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C6	100.00'	90°29'03"	157.92'	N50°50'59"W	142.02'
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C8	150.00'	38°32'17"	100.89'	N64°38'21"E	99.00'
C9	150.00'	14°03'56"	36.82'	N52°24'11"E	36.73'
C10	100.00'	44°42'56"	78.04'	S16°14'52"W	76.08'

LEGEND

EXISTING:

RIGHT-OF-WAY

ROADWAY CENTERLINE

UTILITY EASEMENT

PROPOSED:

RIGHT-OF-WAY

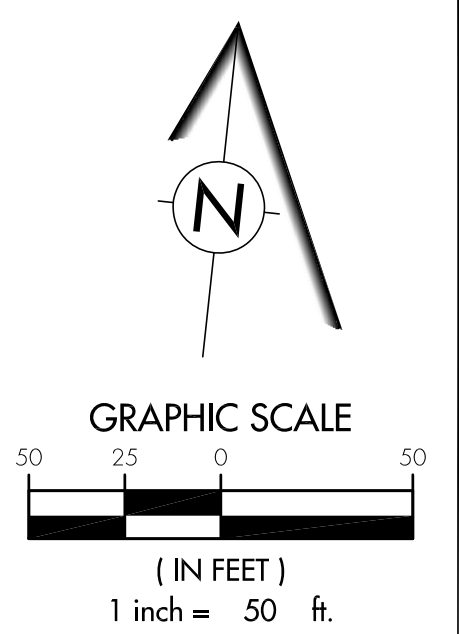
ROADWAY CENTERLINE

UTILITY EASEMENT

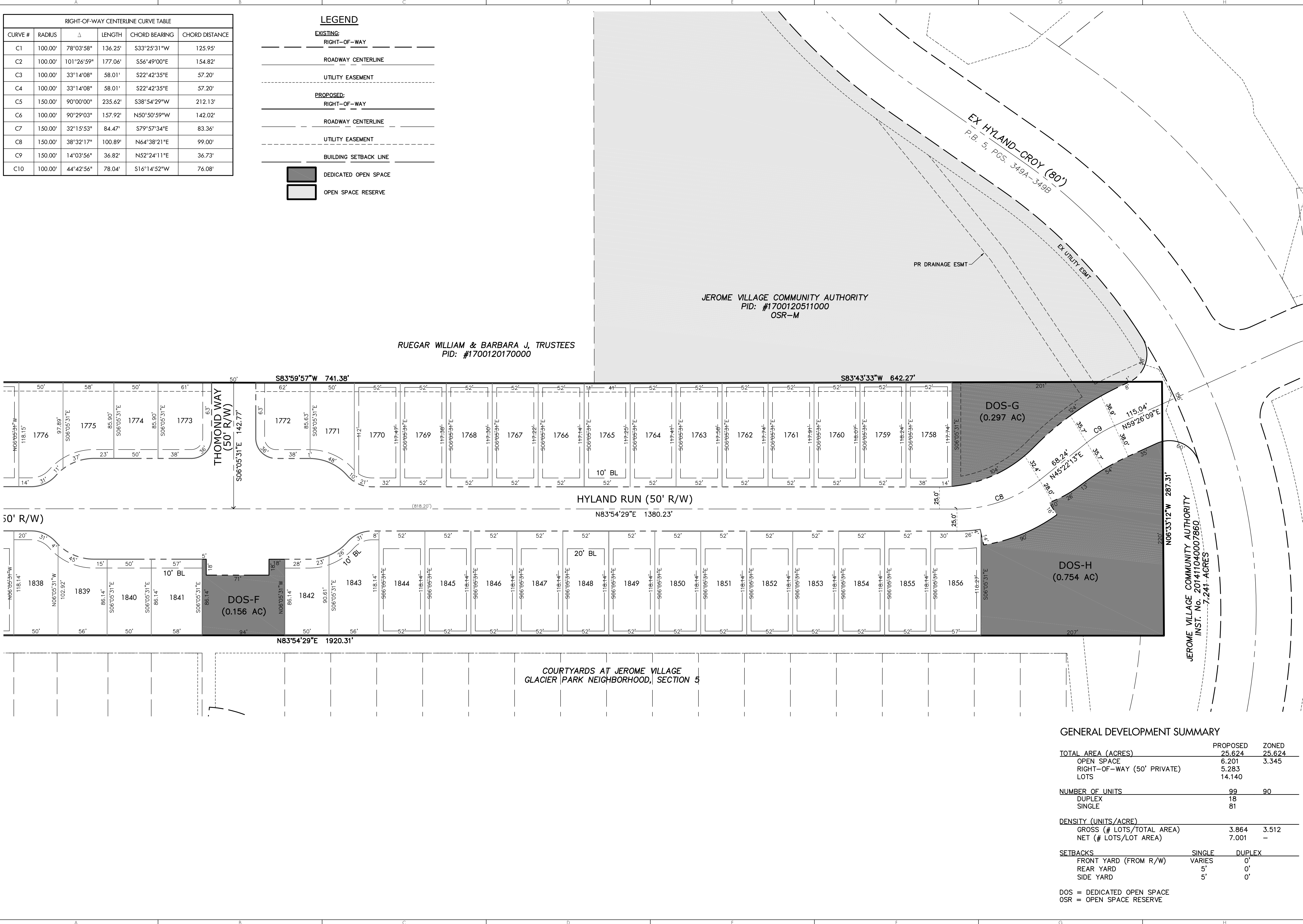
BUILDING SETBACK LINE

DEDICATED OPEN SPACE

OPEN SPACE RESERVE



#	DATE	DESCRIPTION OF CHANGE



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JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 PRELIMINARY PLAT

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED
TOTAL AREA (ACRES)	25.624	25.624
OPEN SPACE	6.201	3.345
RIGHT-OF-WAY (50' PRIVATE)	5.283	-
LOTS	14.140	-
NUMBER OF UNITS	99	90
DUPLEX	18	-
SINGLE	81	-
DENSITY (UNITS/ACRE)		
GROSS (# LOTS/TOTAL AREA)	3.864	3.512
NET (# LOTS/LOT AREA)	7.001	-
SETBACKS	SINGLE	DUPLEX
FRONT YARD (FROM R/W)	VARIES	0'
REAR YARD	5'	0'
SIDE YARD	5'	0'

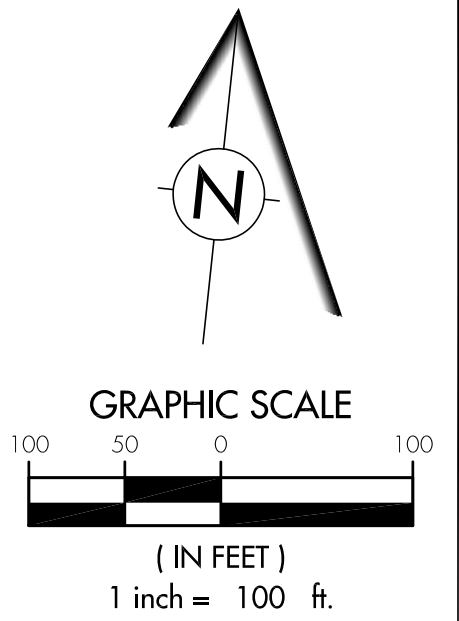
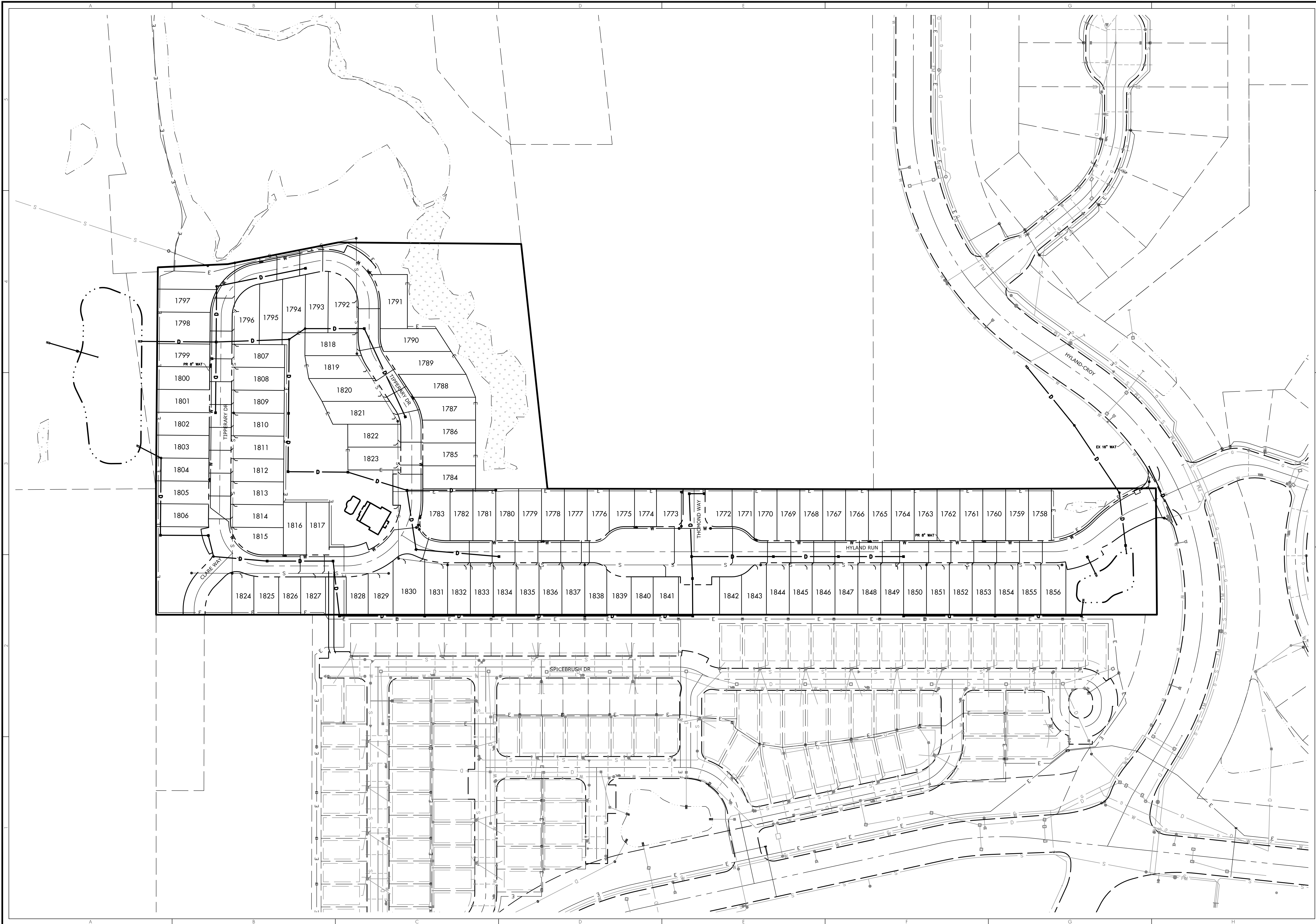
DOS = DEDICATED OPEN SPACE
 OSR = OPEN SPACE RESERVE

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE: HORIZONTAL: 1" = 50'
 VERTICAL: N/A
 SHEET NO.: 4/17



CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 COMPOSITE UTILITY PLAN

DRAWING SET STATUS:

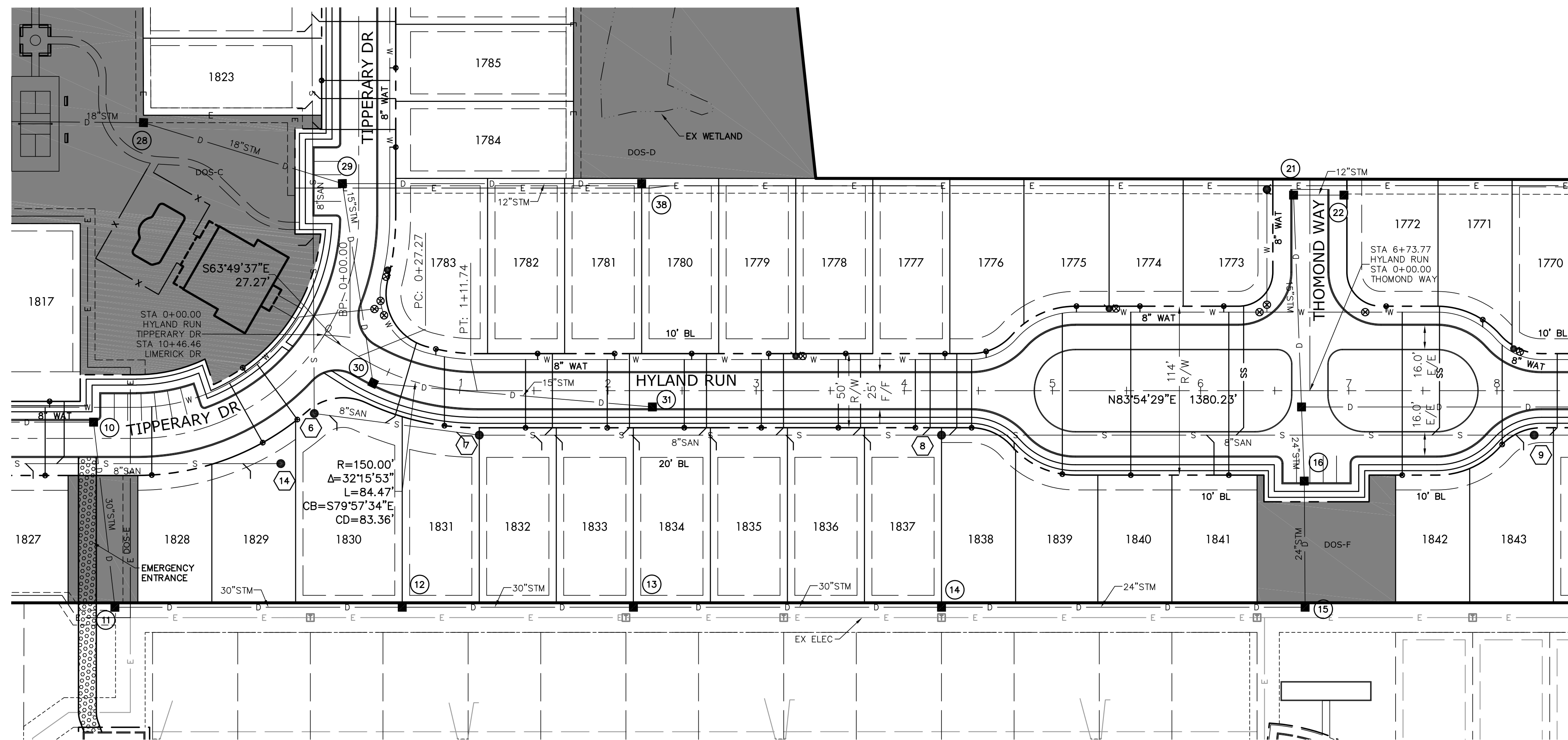
- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE: HORIZONTAL: 1" = 100'
 VERTICAL: N/A

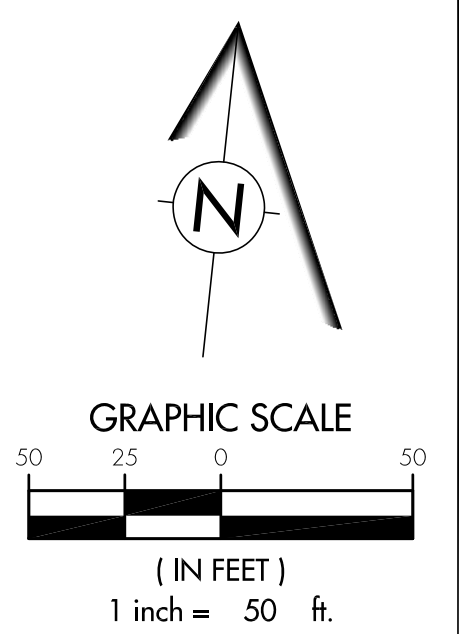
SHEET NO.: 5/17

N:\PROJECTS\19018\COURTYARDS ON HYLAND RUN\19018 UTILITY PLAN.dwg 09/17/2019 10:45:39 am - Terrain Evolution, Inc.



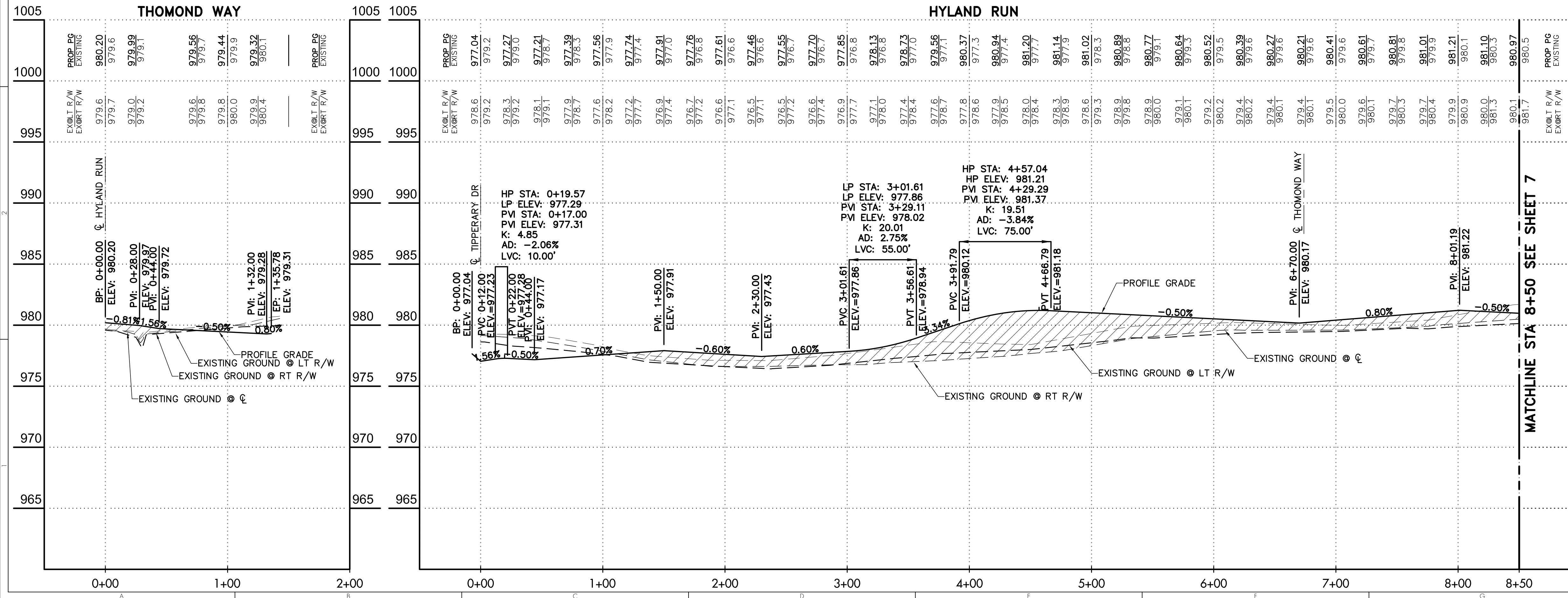
LEGEND

	EXISTING RIGHT-OF-WAY
	ROADWAY CENTERLINE
	UTILITY EASEMENT
	WATERLINE
	STORM SEWER
	SANITARY SEWER
	ELECTRIC
	GAS
PROPOSED:	
	RIGHT-OF-WAY
	ROADWAY CENTERLINE
	UTILITY EASEMENT
	BUILDING SETBACK LINE
	WATERLINE
	WATER VALVE
	REDUCER
	FIRE HYDRANT
	WATER SERVICE
	STORM SEWER
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN
	STORM SEWER CURB INLET
	SANITARY SEWER
	SANITARY MANHOLE
	SANITARY SERVICE
	ELECTRIC
	ELECTRIC TRANSFORMER BOX
	DOT 203 FILL
	COMPACTED GRANULAR BACKFILL
	DEDICATED OPEN SPACE
	OPEN SPACE RESERVE



CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	BY	DATE



NOTE:

- COMPACTED GRANULAR BACKFILL PER ITEM 703.11. ALL OTHER BACKFILL TO BE COMPACTED BACKFILL WITH NATIVE MATERIAL.
- ALL UTILITY CROSSINGS SHALL BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL.

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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

PRELIMINARY STREET PLAN & PROFILE
 THOMOND WAY &
 HYLAND RUN

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

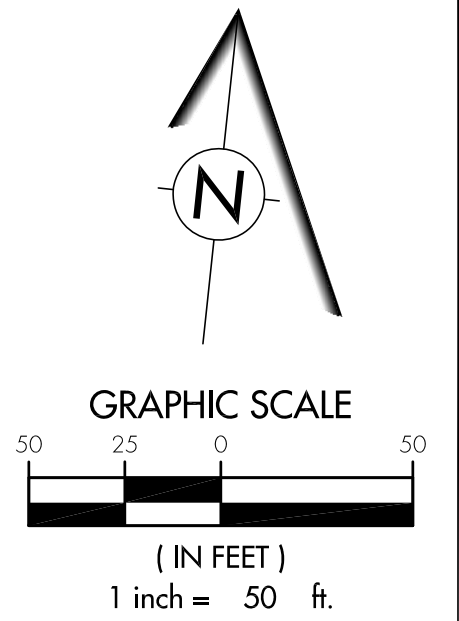
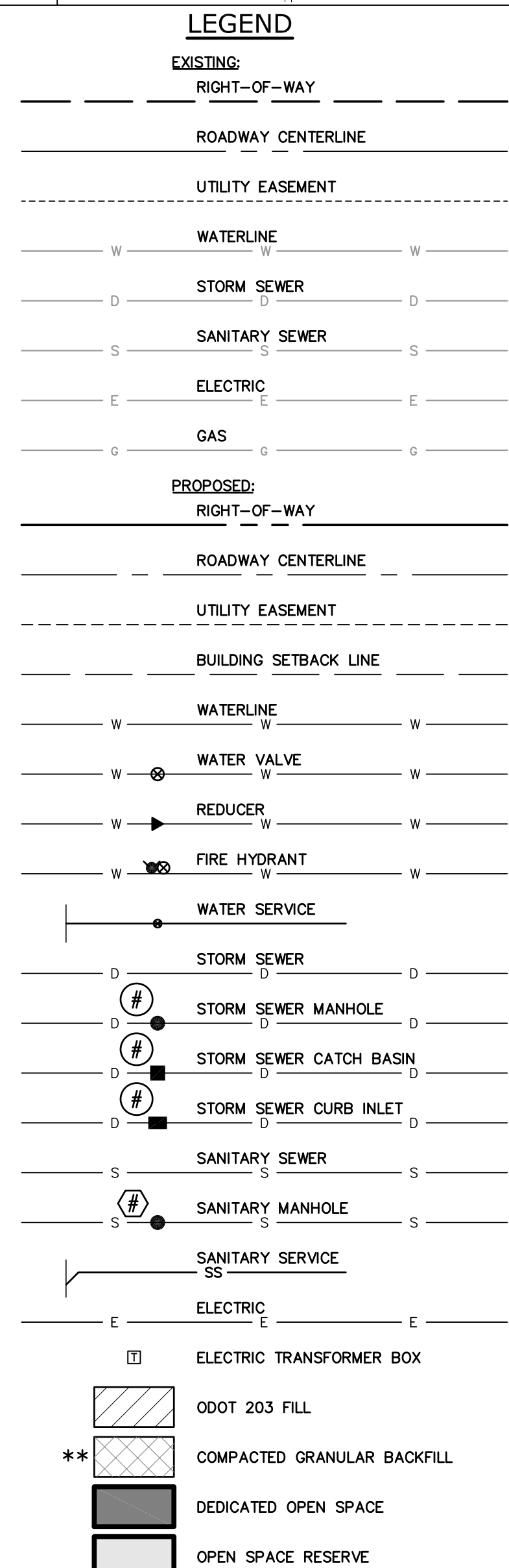
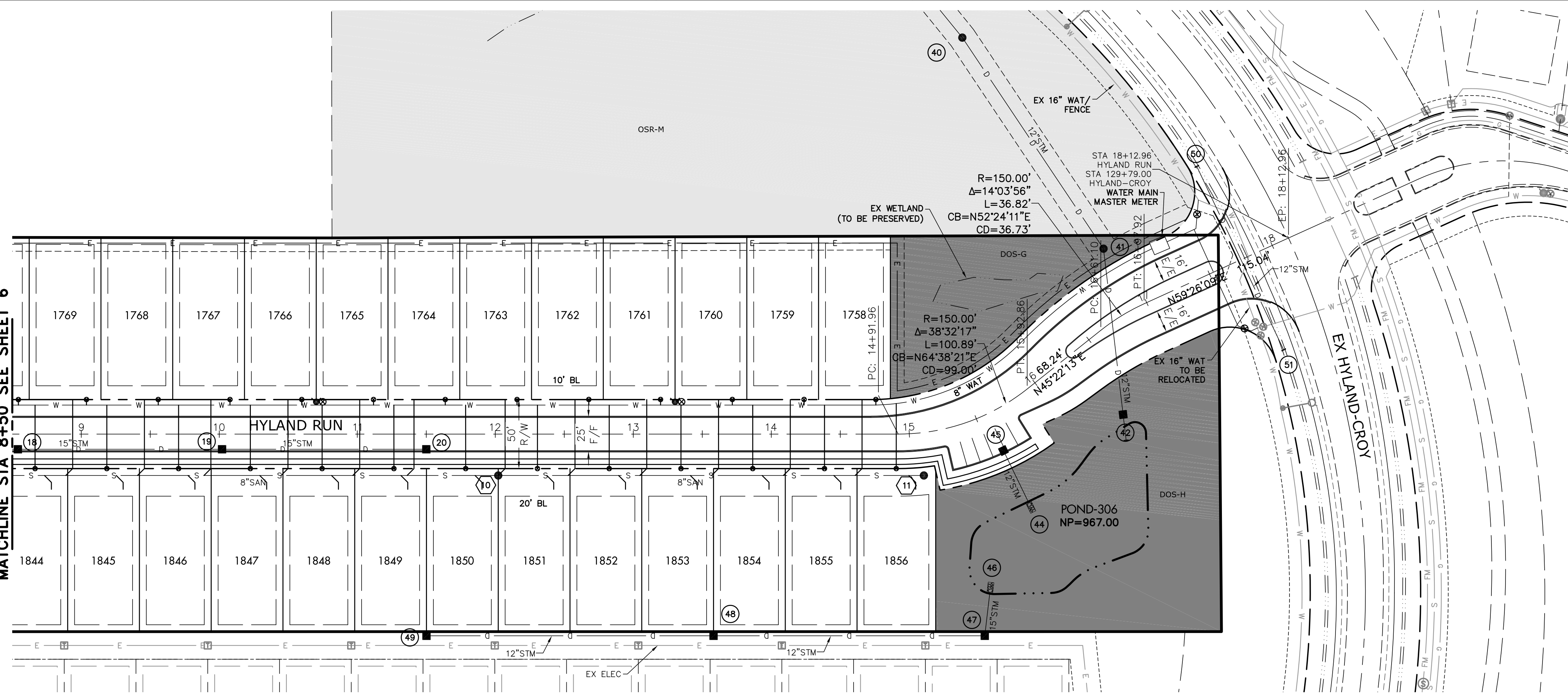
PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

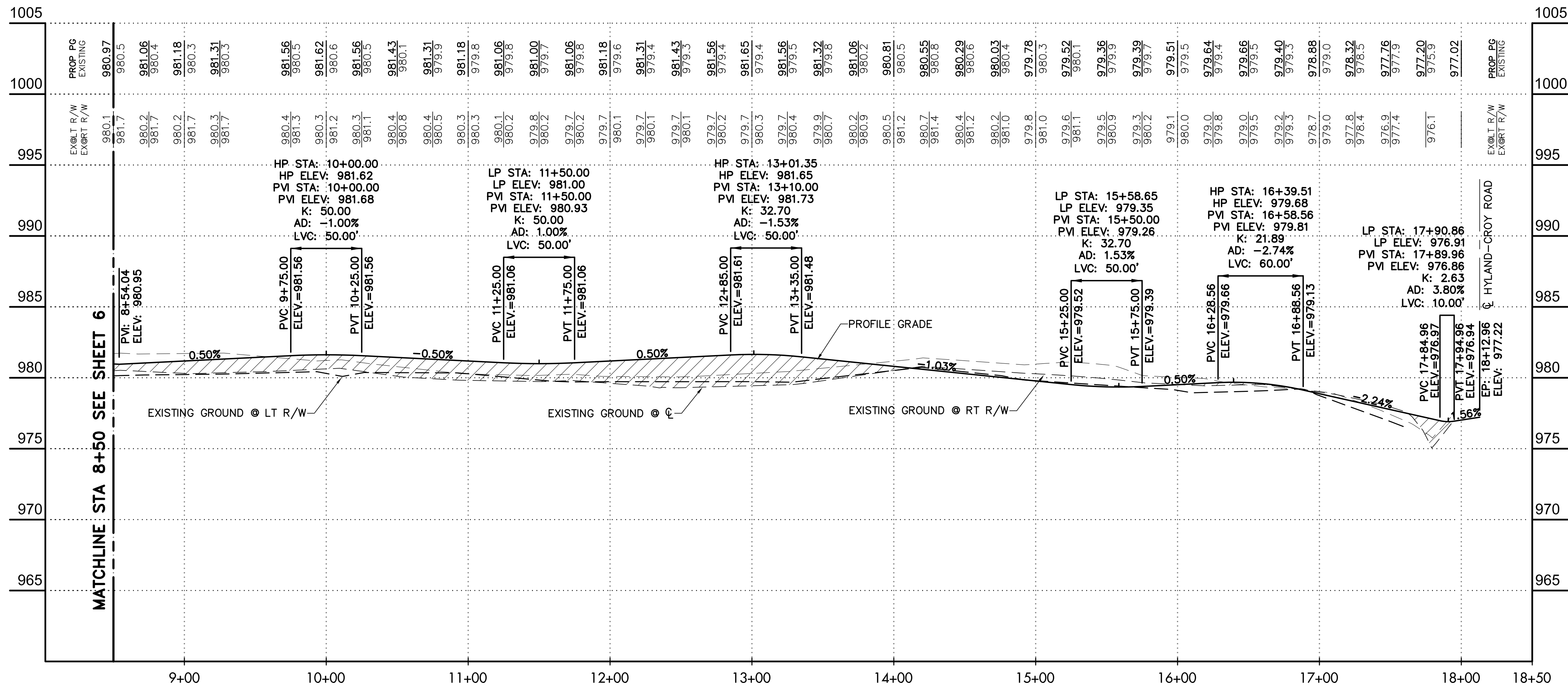
SHEET NO.: 6/17

MATCHLINE STA 8+50 SEE SHEET 6



#	DATE	DESCRIPTION OF CHANGE

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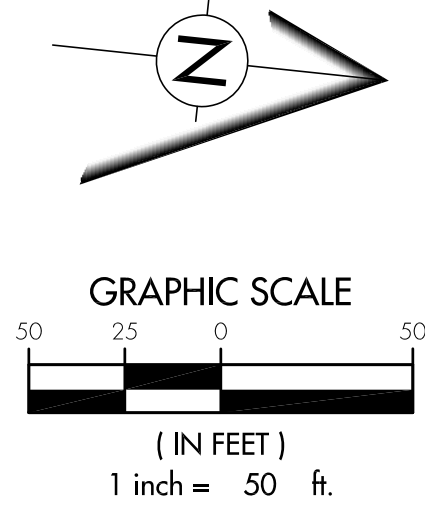
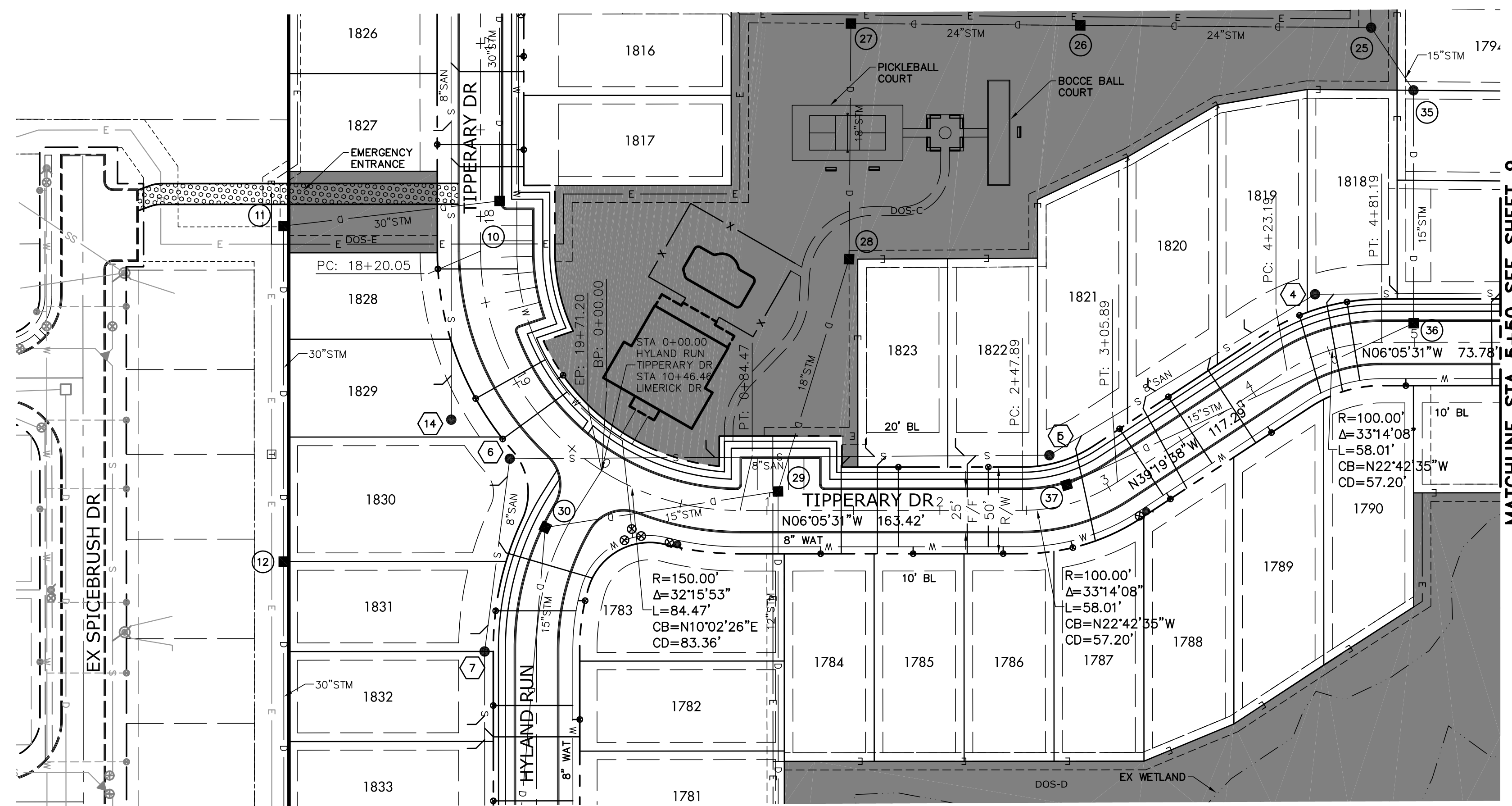
JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 PRELIMINARY STREET PLAN & PROFILE
 HYLAND RUN

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'
 SHEET NO.: 7/17

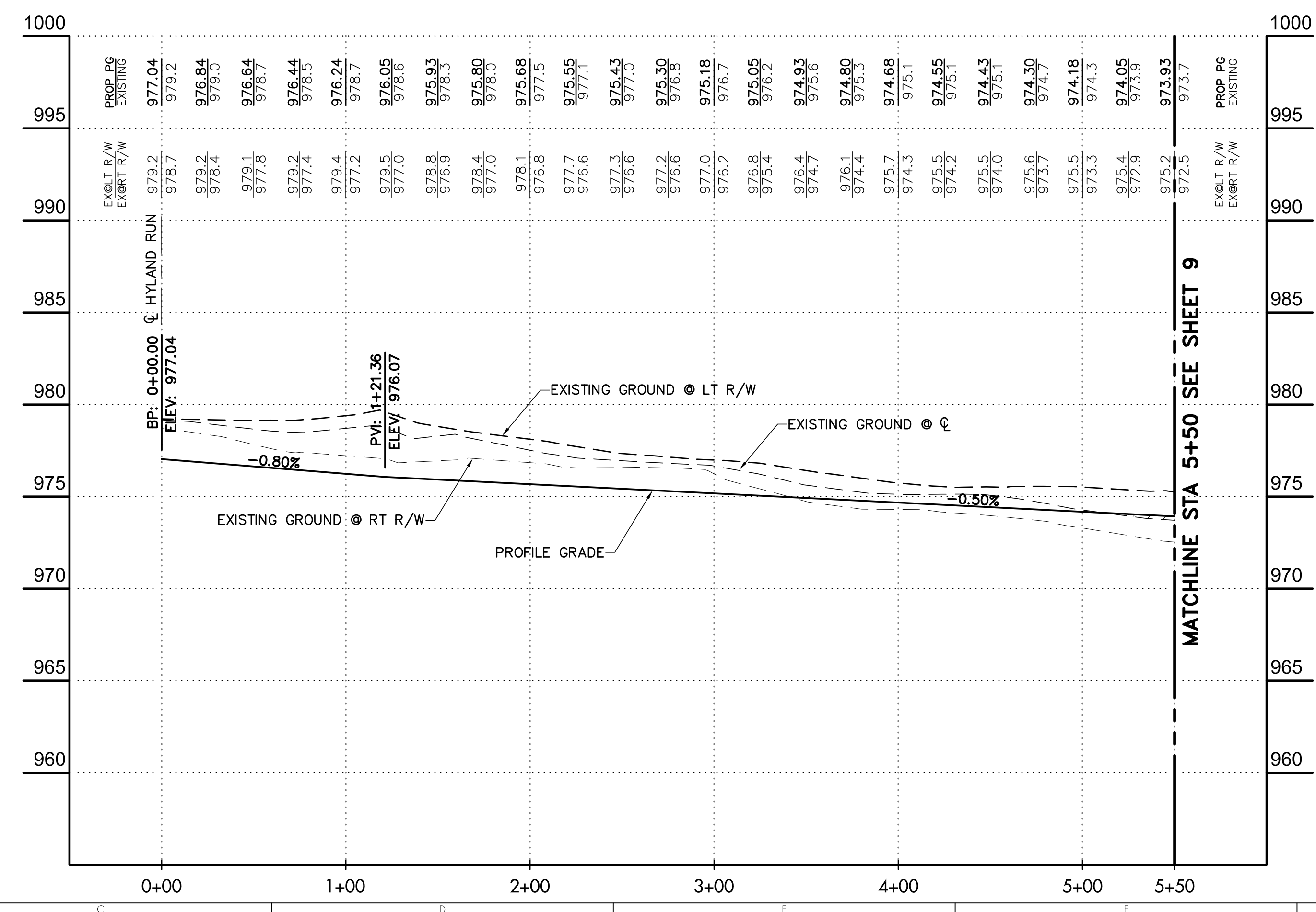


CHANGE ORDER SCHEDULE

#	DATE	DESCRIPTION OF CHANGE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

PRELIMINARY STREET PLAN & PROFILE
 TIPPERARY DRIVE

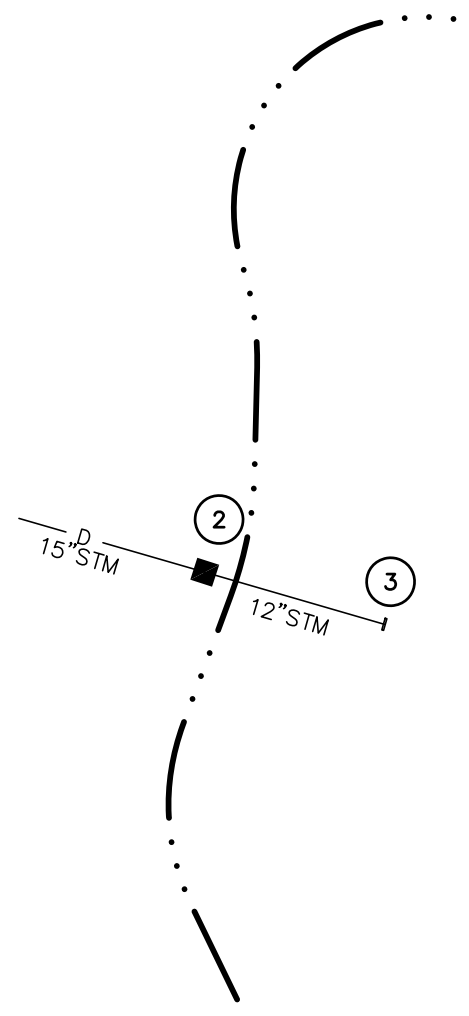
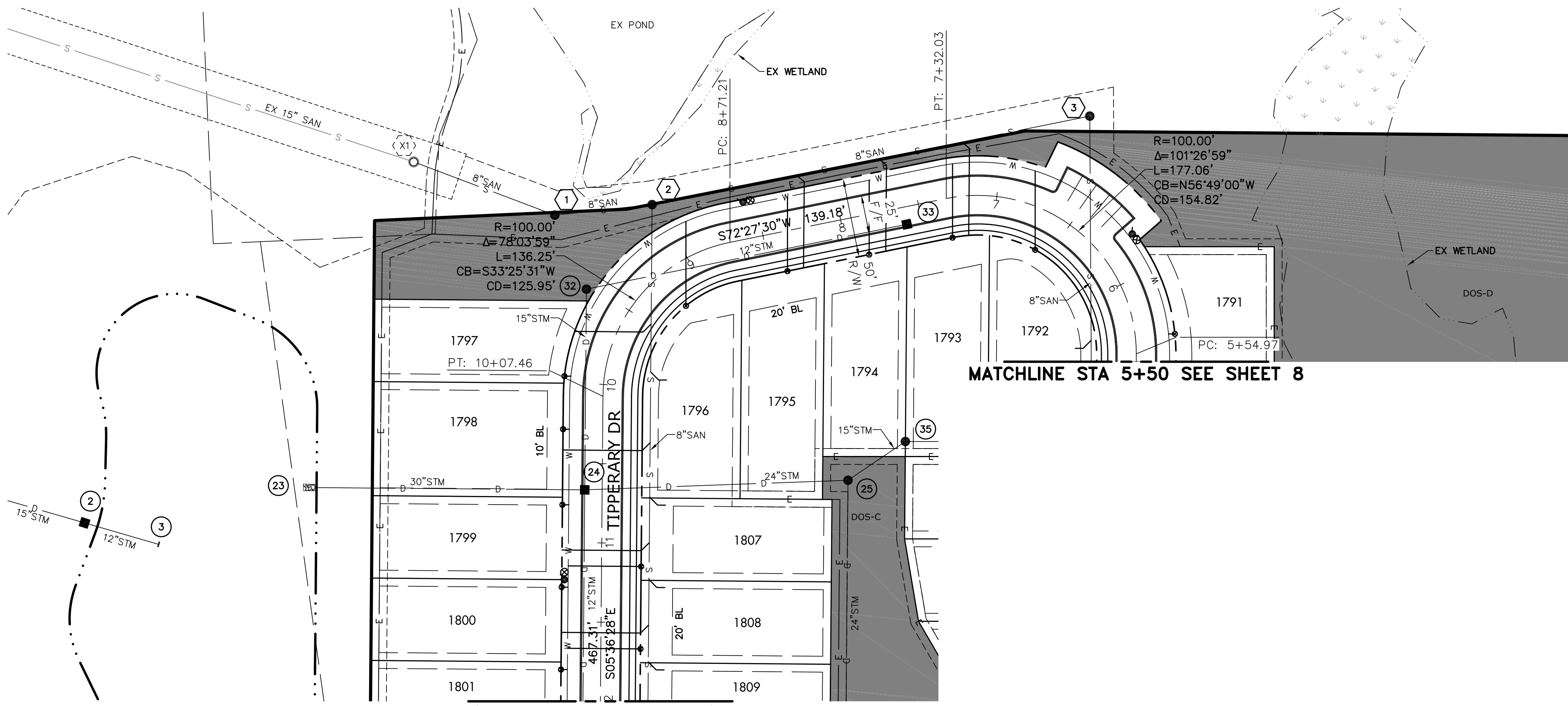
DRAWING SET STATUS:

PRELIMINARY ENGINEERING SET
 AGENCY REVIEW SET
 CONSTRUCTION DOCUMENT SET
 AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

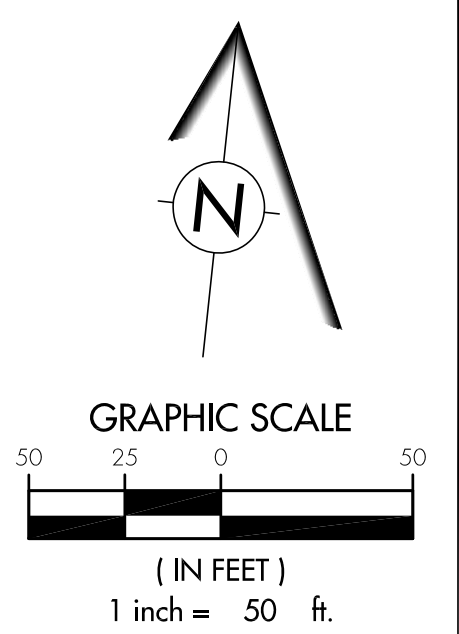
PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE: HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

SHEET NO.: 8/17



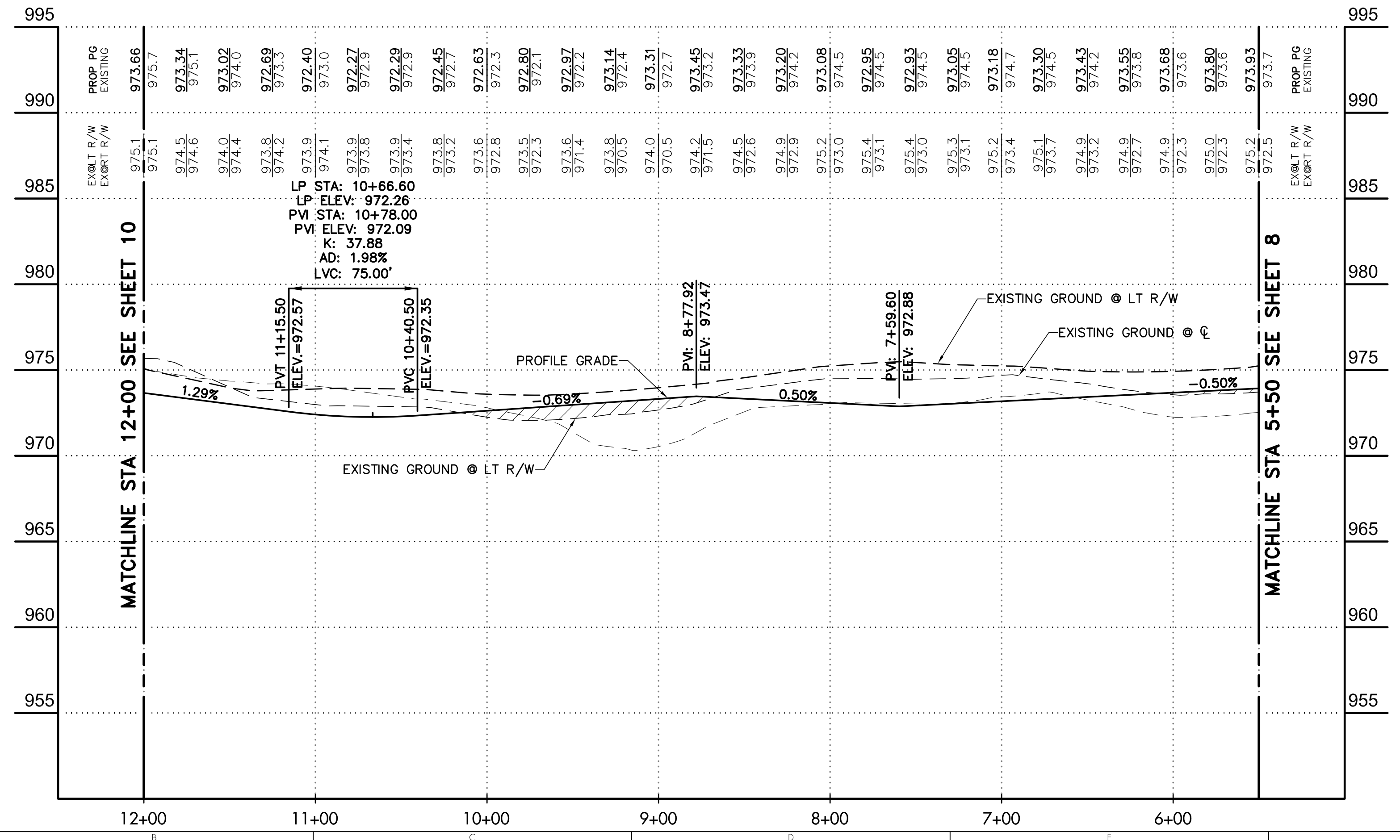
LEGEND

- EXISTING:**
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
 - W --- WATERLINE
 - D --- STORM SEWER
 - S --- SANITARY SEWER
 - E --- ELECTRIC
 - G --- GAS
- PROPOSED:**
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
 - BUILDING SETBACK LINE
 - W --- WATERLINE
 - W --- WATER VALVE
 - W --- REDUCER
 - W --- FIRE HYDRANT
 - W --- WATER SERVICE
 - D --- STORM SEWER
 - # --- STORM SEWER MANHOLE
 - # --- STORM SEWER CATCH BASIN
 - # --- STORM SEWER CURB INLET
 - S --- SANITARY SEWER
 - # --- SANITARY MANHOLE
 - SS --- SANITARY SERVICE
 - E --- ELECTRIC
 - --- ELECTRIC TRANSFORMER BOX
 - ▨ --- ODOT 203 FILL
 - ** ▨ --- COMPACTED GRANULAR BACKFILL
 - --- DEDICATED OPEN SPACE
 - --- OPEN SPACE RESERVE



CHANGE ORDER SCHEDULE

#	DATE	DESCRIPTION OF CHANGE



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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

PRELIMINARY STREET PLAN & PROFILE
 TIPPERARY DRIVE

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

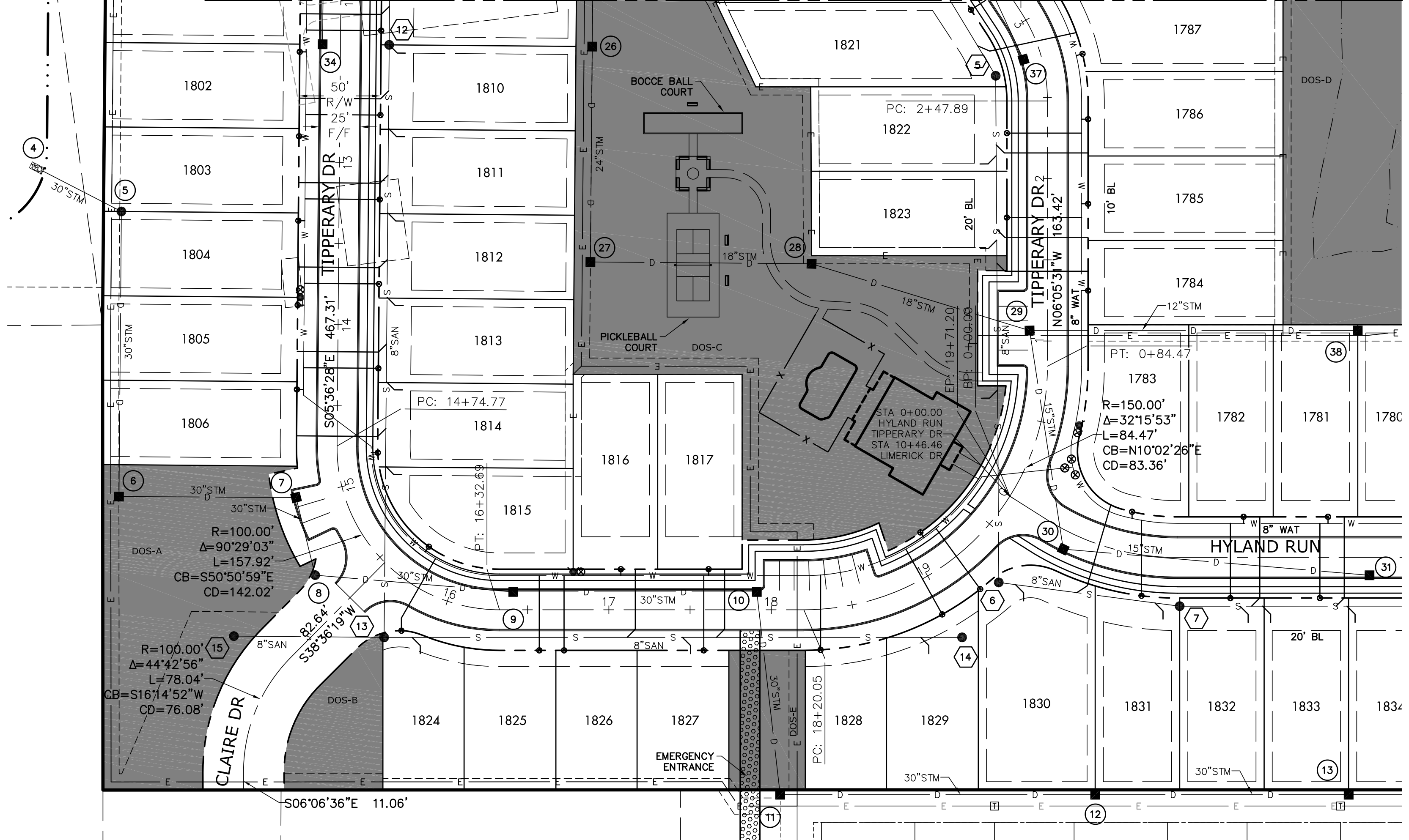
PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

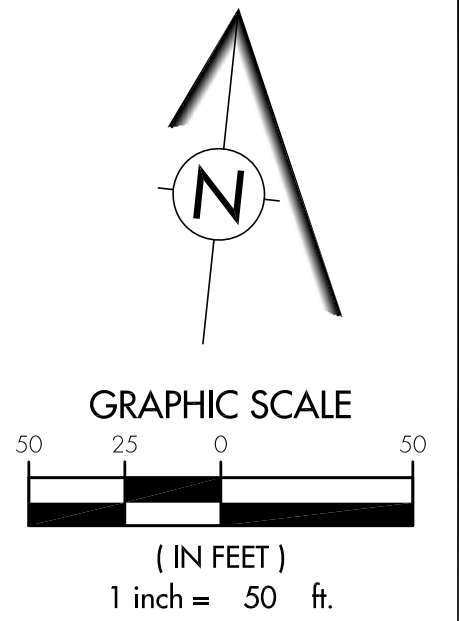
SHEET NO.: 9/17

MATCHLINE STA 12+00 SEE SHEET 9



LEGEND

- EXISTING:**
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
 - WATERLINE
 - STORM SEWER
 - SANITARY SEWER
 - ELECTRIC
 - GAS
- PROPOSED:**
- RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - UTILITY EASEMENT
 - BUILDING SETBACK LINE
 - WATERLINE
 - WATER VALVE
 - REDUCER
 - FIRE HYDRANT
 - WATER SERVICE
 - STORM SEWER
 - STORM SEWER MANHOLE
 - STORM SEWER CATCH BASIN
 - STORM SEWER CURB INLET
 - SANITARY SEWER
 - SANITARY MANHOLE
 - SANITARY SERVICE
 - ELECTRIC
 - ELECTRIC TRANSFORMER BOX
 - DOT 203 FILL
 - COMPACTED GRANULAR BACKFILL
 - DEDICATED OPEN SPACE
 - OPEN SPACE RESERVE

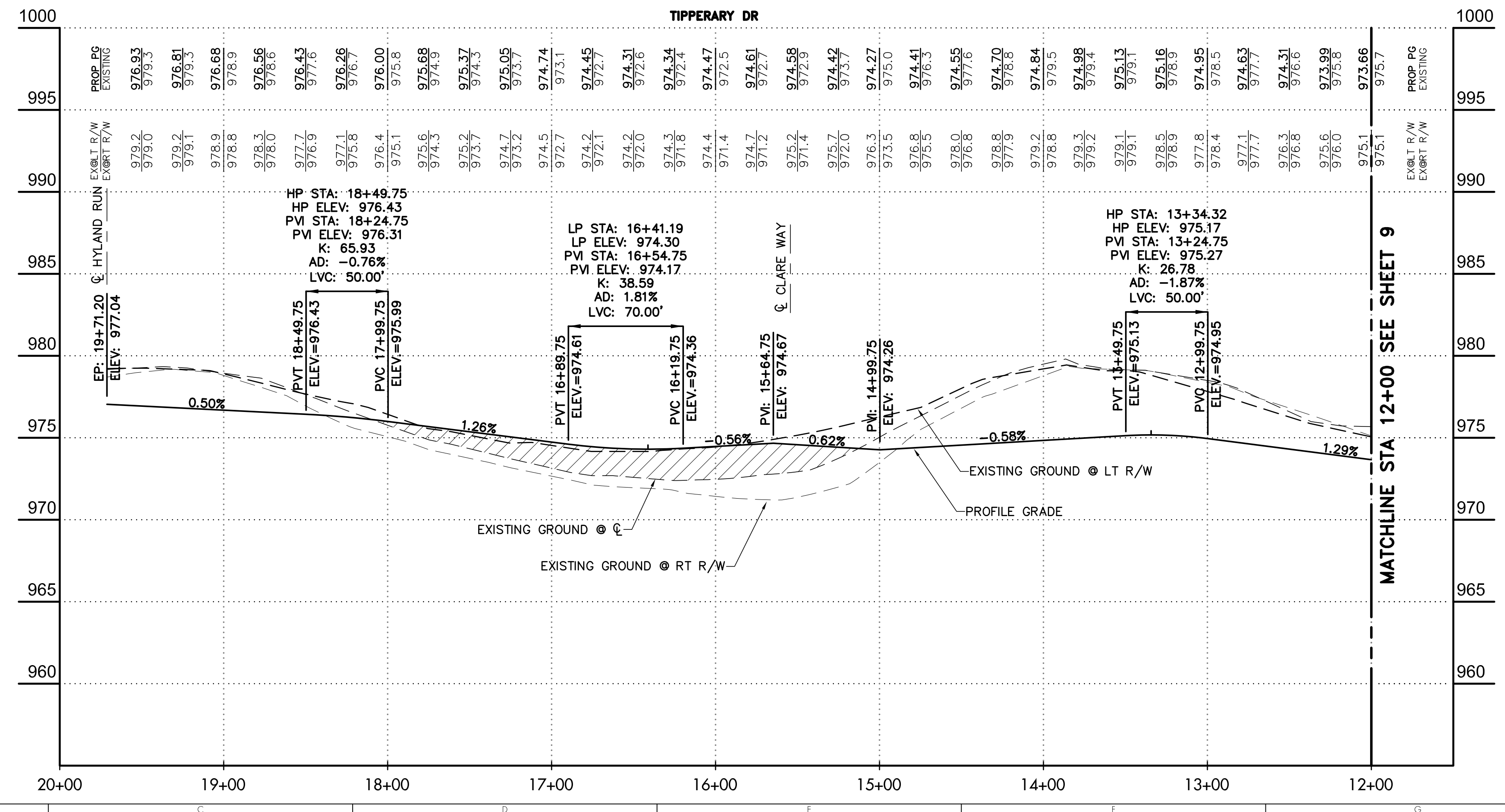
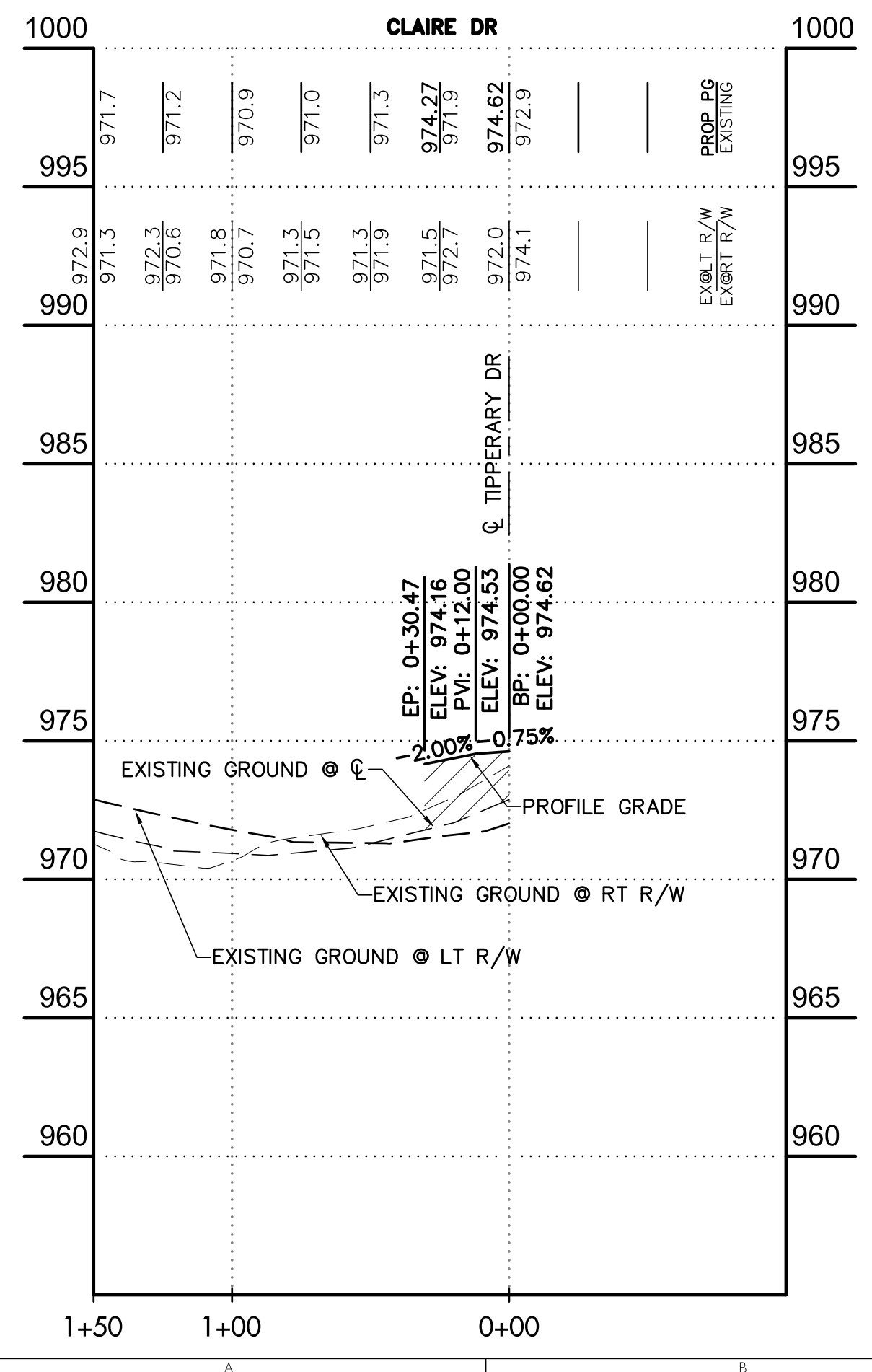


CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	BY	DATE

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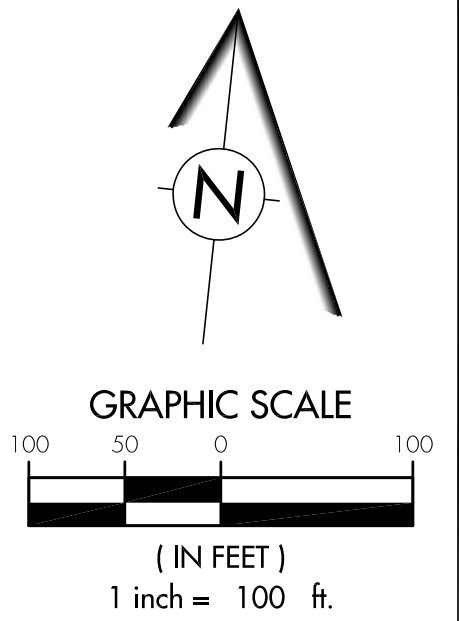
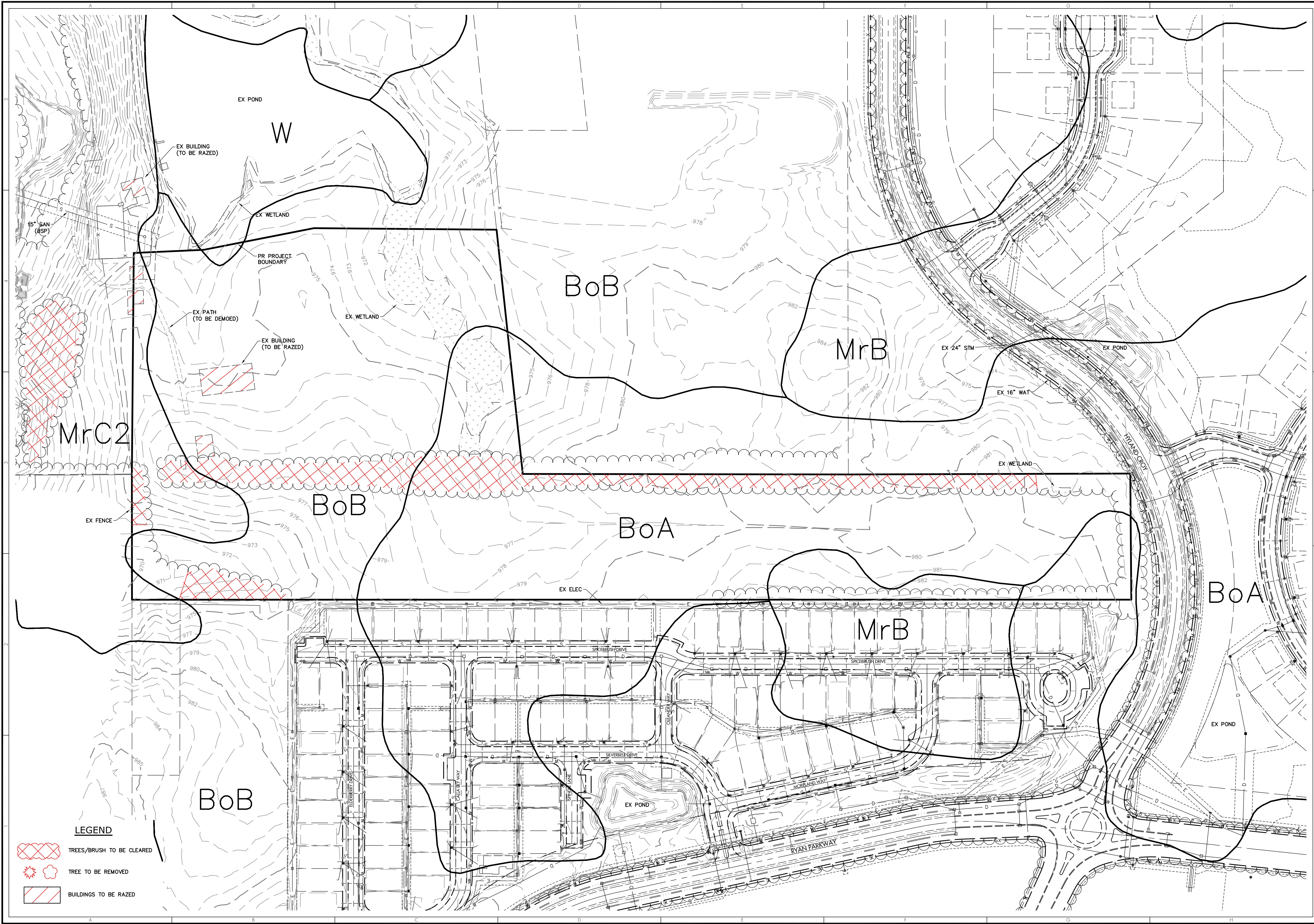
JEROME TOWNSHIP, UNION COUNTY, OHIO
 COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 PRELIMINARY STREET PLAN & PROFILE
 TIPPERARY DRIVE

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE: HORIZONTAL: 1" = 50', VERTICAL: 1" = 5'
 SHEET NO.: 10/17



#	DATE	DESCRIPTION OF CHANGE

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 P: 614.385.1090 | F: 614.385.1055 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
EXISTING CONDITIONS PLAN

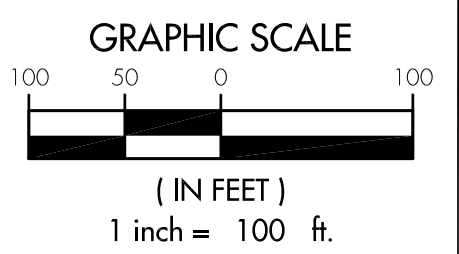
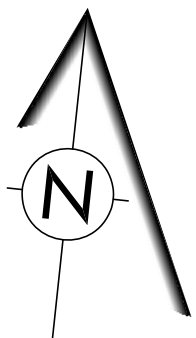
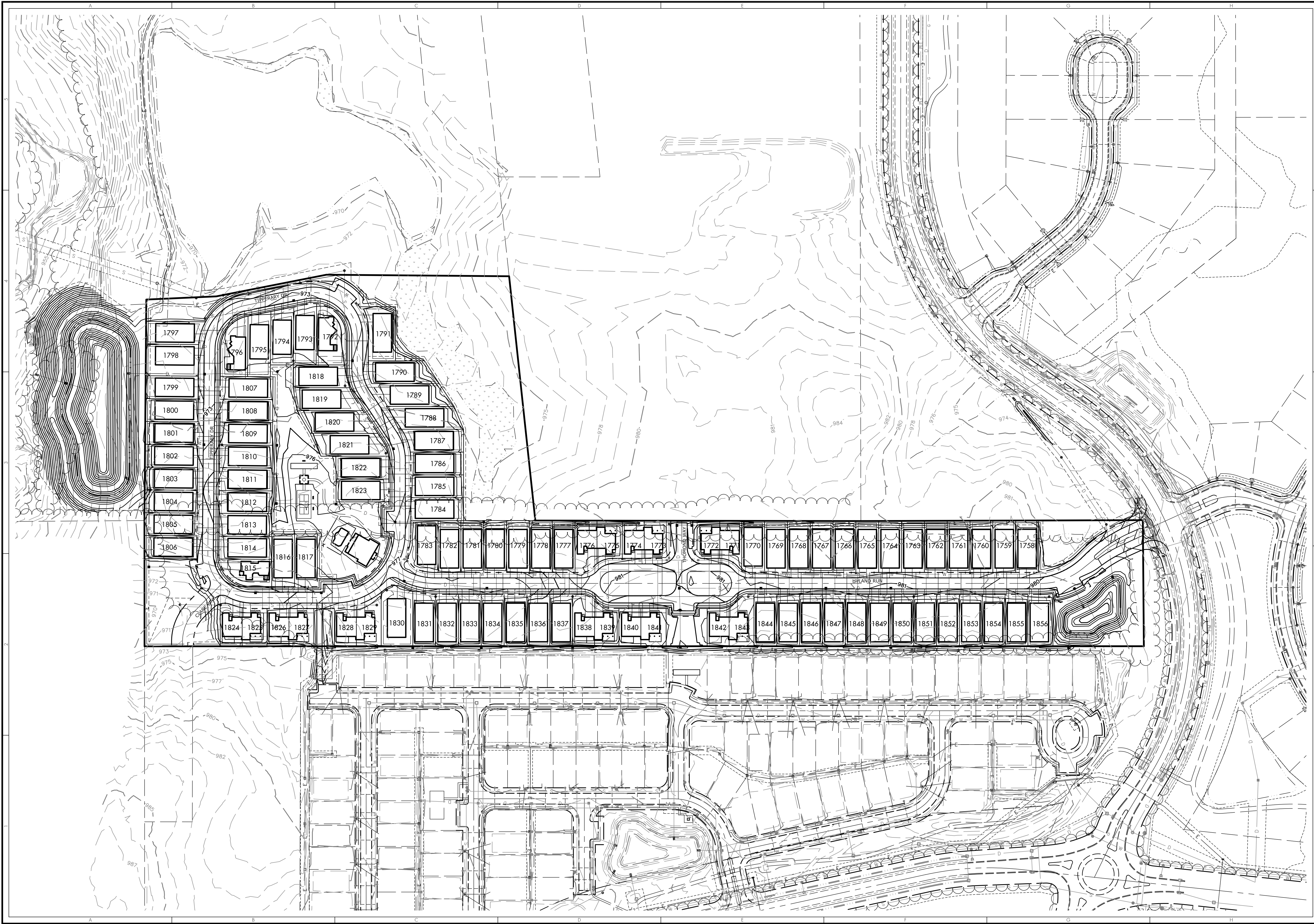
DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPV

PROJECT NO.: 19018
 DATE: SEPTEMBER, 2019
 SCALE: HORIZONTAL: 1" = 100'
 VERTICAL: N/A
 SHEET NO.: 11/17

- LEGEND**
- TREES/BRUSH TO BE CLEARED
 - TREE TO BE REMOVED
 - BUILDINGS TO BE RAZED



#	DESCRIPTION OF CHANGE	BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

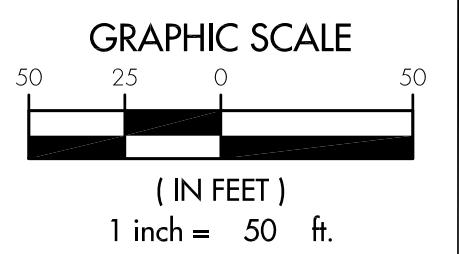
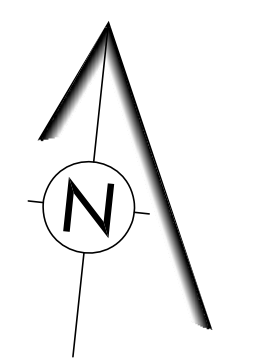
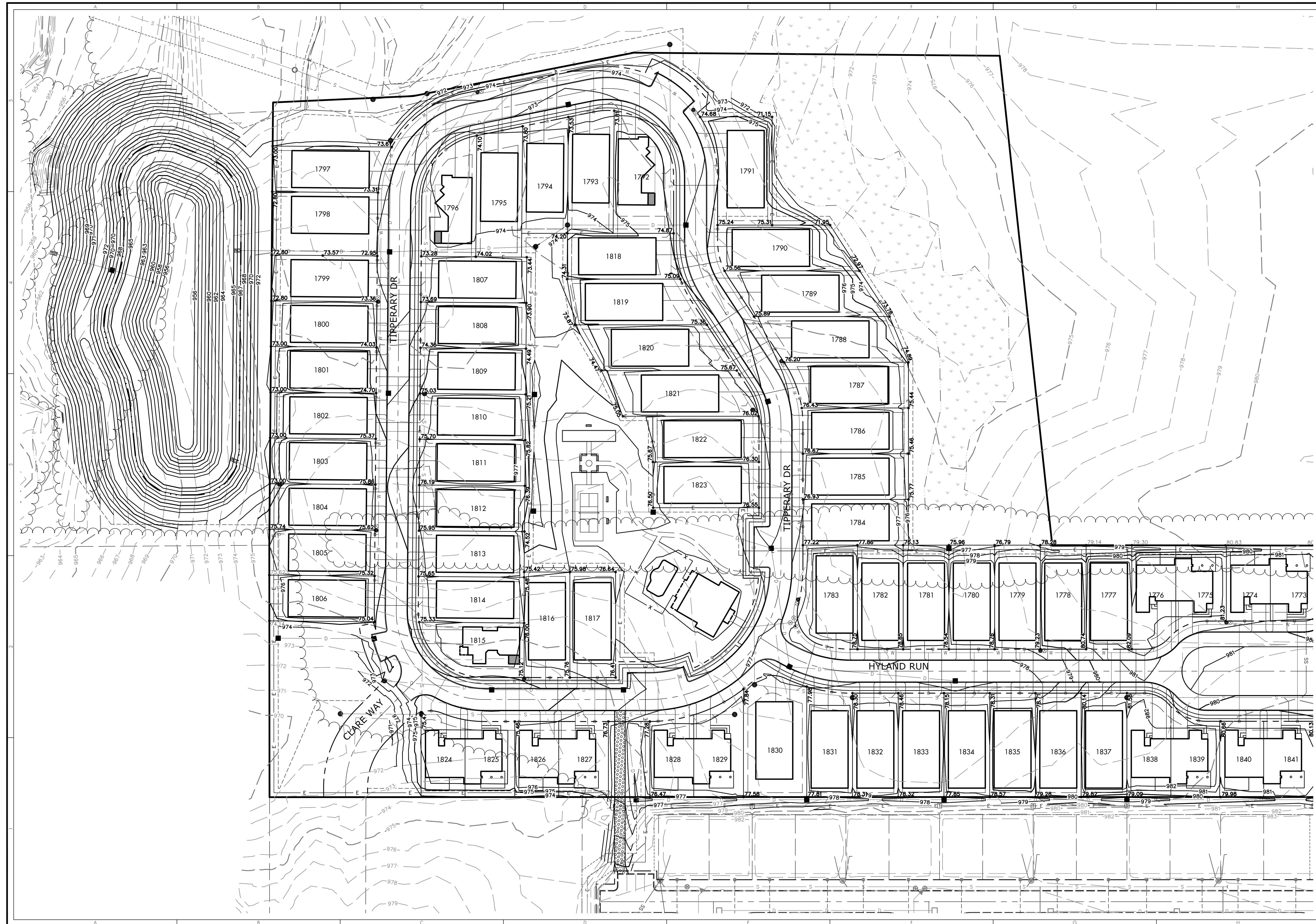
JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

COMPOSITE GRADING PLAN

- DRAWING SET STATUS:
- PRELIMINARY ENGINEERING SET
 - AGENCY REVIEW SET
 - CONSTRUCTION DOCUMENT SET
 - AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW
PROJECT NO.: 19018		
DATE: SEPTEMBER, 2019		
SCALE: HORIZONTAL: 1" = 100' VERTICAL: N/A		
SHEET NO.: 12/17		

N:\19018\CAD\19018-GRADING-COMP-PLAN.dwg (plotted on 09/17/2019 10:42:00 am) © TerrainEvolution, Inc.



#	DESCRIPTION OF CHANGE	BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

DETAILED GRADING PLAN

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

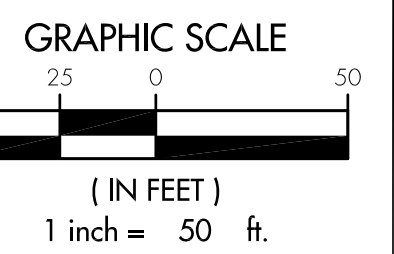
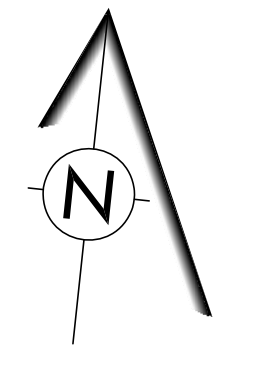
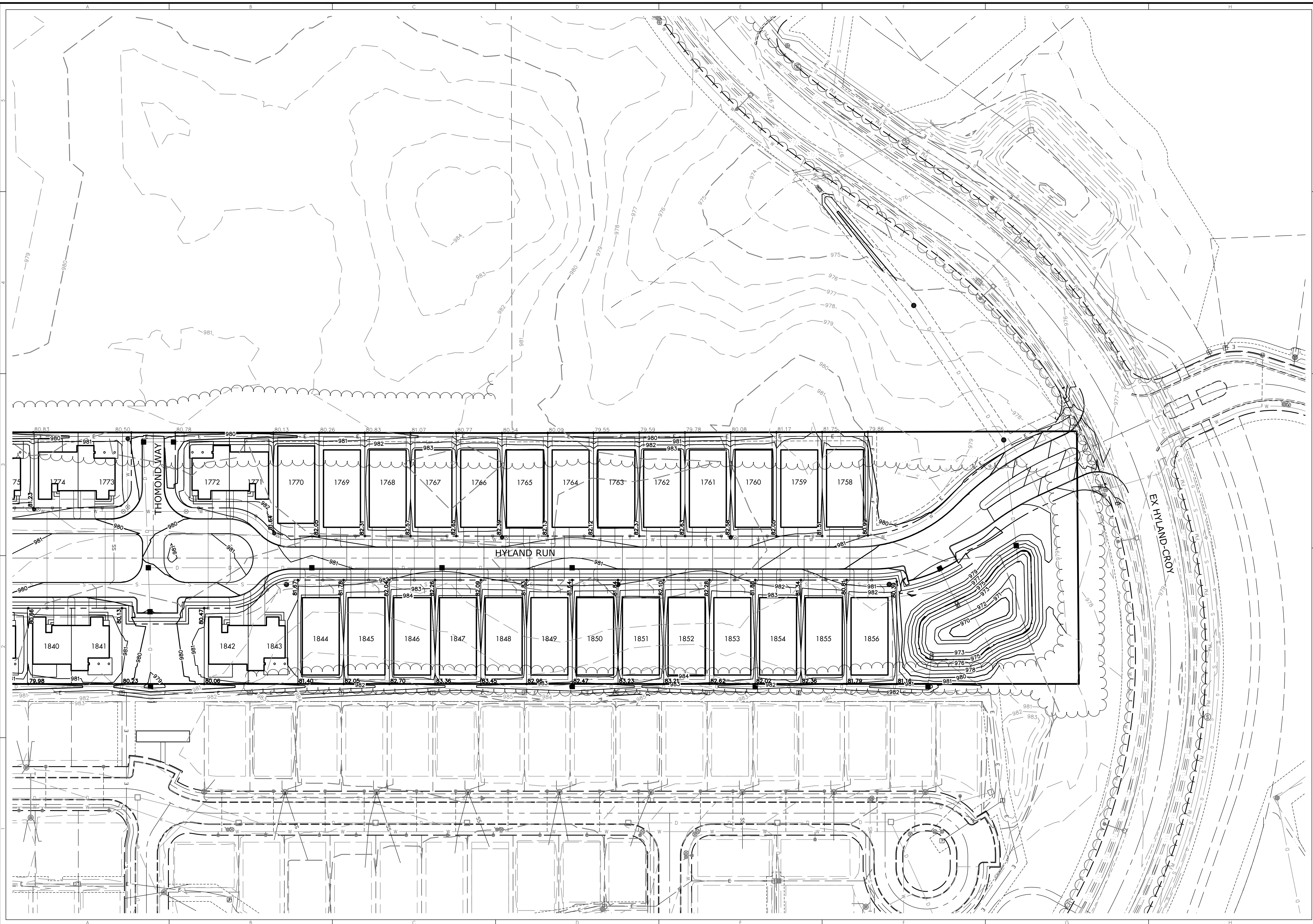
PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: N/A

SHEET NO.: 13/17

N:\Projects\19018\Courtyards\19018_Grade.dwg by dgr on 09/17/2019 10:27:18 am © Terrain Evolution, Inc.



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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13

DETAILED GRADING PLAN

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

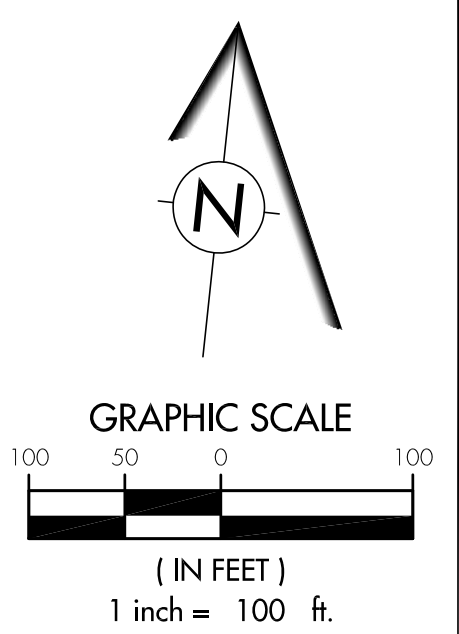
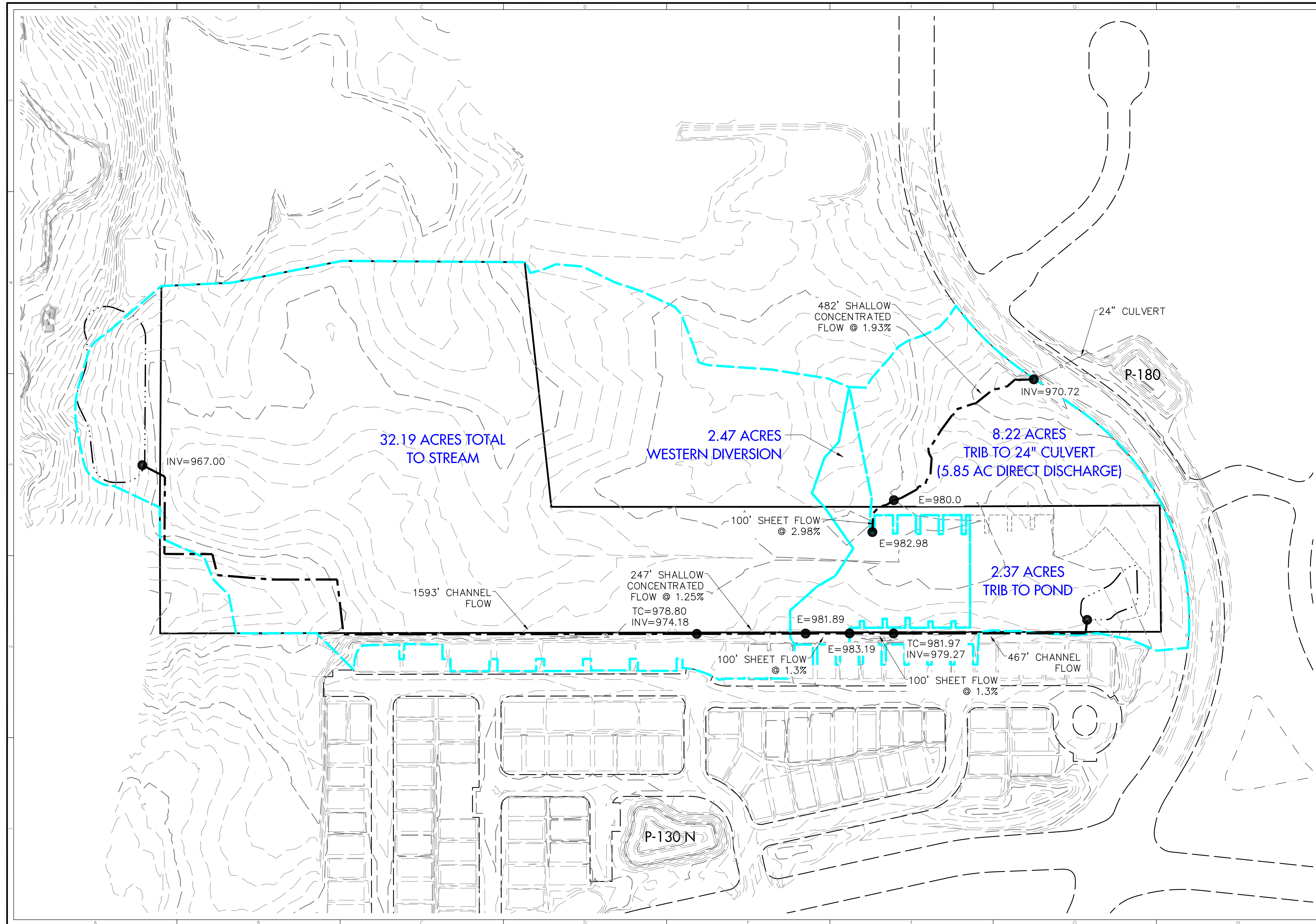
PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: N/A

SHEET NO.: 14/17

N:\19018\COURTYARDS\19018-GRADE.dwg by dgr on 09/17/2019 @ 10:27:18 am © Terrain Evolution, Inc.



DATE	DESCRIPTION OF CHANGE

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JEROME TOWNSHIP, UNION COUNTY, OHIO
COURTYARDS ON HYLAND RUN
 JEROME VILLAGE
 GLACIER PARK NEIGHBORHOOD, SECTION 13
 POSTDEVELOPED STORMWATER TRIBUTARY MAP

DRAWING SET STATUS:

<input type="checkbox"/>	PRELIMINARY ENGINEERING SET
<input type="checkbox"/>	AGENCY REVIEW SET
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW
PROJECT NO.: 19018		
DATE: SEPTEMBER, 2019		
SCALE: HORIZONTAL: 1" = 100' VERTICAL: N/A		
SHEET NO.: 15/17		

N:\Projects\19018\Courtyards\19018_SWM\Map.dwg by jpw on 09/17/2019 @ 10:42:20 am © TerrainEvolution, Inc.



LEGEND

- BD - BEAVER DAM INLET PROTECTION
- DB - DANDY BAG INLET PROTECTION
- STRAW BALE BARRIER
- SILT FENCING
- 36" ORANGE SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- STRAW BALE DROP INLET FILTER OR ALTERNATIVE
- JURISDICTIONAL STREAM BUFFER (NO DISTURBANCE ALLOWED)
- TEMPORARY SEDIMENT BASIN CONTROL STRUCTURE
- 100-YR PONDING LIMITS
- CONCRETE WASH PIT
- WETLANDS

NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FILED MODIFICATION AT THE DISCRETION OF COUNTY AND/OR THE OHIO EPA

GRAPHIC SCALE
50 25 0 25 50
(IN FEET)
1 inch = 50 ft.

#	DATE	DESCRIPTION OF CHANGE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
GLACIER PARK NEIGHBORHOOD, SECTION 13

EROSION & SEDIMENT CONTROL

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW













PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

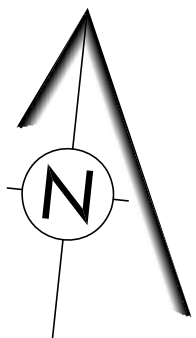
SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: N/A

SHEET NO.: 16/17

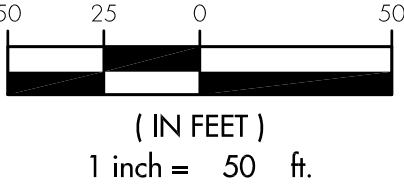
LEGEND

-  - BEAVER DAM INLET PROTECTION
-  - DANDY BAG INLET PROTECTION
-  - STRAW BALE BARRIER
-  - SILT FENCING
-  - .36" ORANGE SILT FENCE
-  - STABILIZED CONSTRUCTION ENTRANCE
-  - STRAW BALE DROP INLET FILTER OR ALTERNATIVE
-  - JURISDICTIONAL STREAM BUFFER (NO DISTURBANCE ALLOWED)
-  - TEMPORARY SEDIMENT BASIN CONTROL STRUCTURE
-  - 100-YR PONDING LIMITS
-  - CONCRETE WASH PIT
-  - WETLANDS

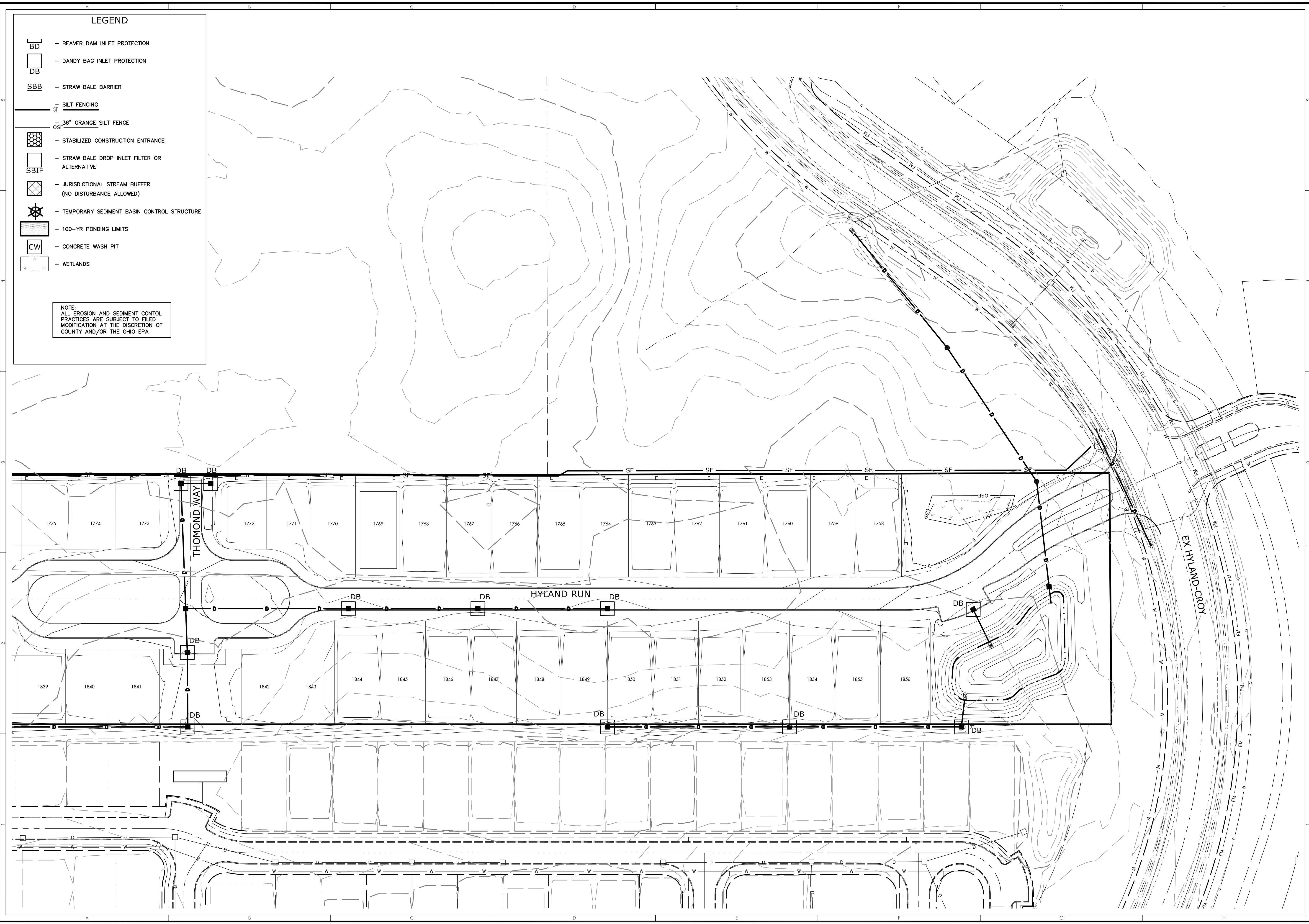
NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FILED MODIFICATION AT THE DISCRETION OF COUNTY AND/OR THE OHIO EPA



GRAPHIC SCALE



#	DESCRIPTION OF CHANGE	BY	DATE



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JEROME TOWNSHIP, UNION COUNTY, OHIO

COURTYARDS ON HYLAND RUN

JEROME VILLAGE
GLACIER PARK NEIGHBORHOOD, SECTION 13

EROSION & SEDIMENT CONTROL

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPV

PROJECT NO.: 19018

DATE: SEPTEMBER, 2019

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: N/A

SHEET NO.: 17/17

August 21, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

RE: Courtyards on Hyland Run [Glacier Park Neighborhood Section 13 (GPN-13)] Preliminary Plat

Mr. Bodenmiller,

Terrain Evolution, as the agent for Epcon Communities, acknowledges the existence of a small area of Wetzels soils within the development of the Courtyards on Hyland Run (GPN-13). The soil types are commonly found within areas with poor drainage and/or in drainage courses. In this case, the soils are along low lying area next to an existing pond. The development will be installing roadway with storm sewer drainage system to provide adequate drainage to the area developed.

Section 416 of the Union County Subdivision Regulations designates areas with the said soil types as requiring improvements to render the area acceptable for the intended use. The subdivider is aware and acknowledges this requirement. The intended use is for single family residential. Providing adequate drainage system to the area shall remedy any poorly drained areas, thus rendering the area acceptable for the use. A storm sewer system is being designed to convey all surface runoff to stormwater management basins. Any and all subsurface tiles encountered during the construction of the development shall be connected to said storm sewer as to promote an adequate drainage system.

Please feel free to contact me if you have any questions a (614) 385-1092.

Sincerely,



Justin Wollenberg, PE, CPESC
Project Manager



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

October 3, 2019

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village, The Courtyards on Hyland Run (AKA GPN-13) – Preliminary Plat

Brad,

We have completed our review for the above preliminary plat, received by our office on September 24, 2019. We recommend it be approved with the below modifications and recommendations. Items listed below should be addressed in the final construction drawings, or resolved as indicated.

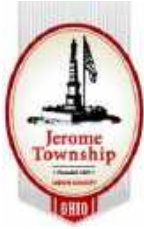
1. A traffic impact study (TIS) has been submitted for this, and several other proposed development pods not accounted for in the Jerome Village Master TIS dated February, 2007. Developer installed improvements and contributions to offsite intersections will be memorialized in an Infrastructure Agreement currently being finalized between the Developer and Union County.
2. The right of way, streets and majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, we recommend establishing an infrastructure ownership table to clarify the responsibilities of all right of way, roads, utilities, stormwater infrastructure, etc.
3. Provide information regarding any master trails and/or Jerome Village/HOA maintained fencing or landscaping in the construction drawings.
4. All stormwater infrastructure and will be reviewed in more detail during the final construction drawing review process.
5. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
6. Provide a stormwater management report for review.
7. Provide detailed construction drawings to private utility providers.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals, including but not limited to final construction documents. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.



Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, USWCD (via email)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

October 7, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347
East Liberty, Ohio 43319

RE.: Jerome Village GPN 13 – Preliminary Plat

Dear Mr. Bodenmiller

I have reviewed the preliminary plat for Jerome Village GPN-13, a revised version of which was forwarded to the Township Zoning Office in September. Based on that review the Township has no revised comments on this plat. The comments provided by the Township in the comment letter dated August 28, 2019 remain unchanged.

Very Respectfully,

Eric Snowden
Jerome Township Zoning Inspector



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

October 2, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty OH 43319

**Subject: The Courtyards on Hyland Run (GPN 13)
Preliminary Plat Comments**

The City of Marysville has reviewed the Preliminary Plat for The Courtyards on Hyland Run development and recommends approving the Preliminary Plat upon addressing the following comments as part of the final engineering process:

Water:

1. It is suggested that a water line be stubbed to the southwest corner of the property along Clare Way.
2. For isolation purposes, additional valves may need to be placed during the Final Engineering process.

Please contact us if you need additional clarification or wish to discuss these comments further.


Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



15461 US Route 36 • PO Box 393 • Marysville, OH 43040-0393
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Your Touchstone Energy® Cooperative 

September 26th, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: UREC comments for Jerome Village GPN-13 – Preliminary Plat

Brad,

Noted comments per paper drawings received 09/24/19. Drawing set of 17 sheets issued Preliminary Plat for GPN-13 Dated September 24th 2019:

- 1) Sheet 1 of 17 – Cover Sheet
 - a) Number of Lots: 99
 - b) Front Setback: Varies per lot
 - c) Side Setback: 5 FT
 - d) Rear Setback: 5 FT
- 2) Sheet 2 of 17
 - a) No comments
- 3) Sheet 3 of 17
 - a) Building set back from lot 1777-1783 encroaches in easement area
 - b) Building set back from lot 1797-1806 encroaches in easement area
 - c) URE has easement requirements of 20 feet for underground primary and secondary facilities. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable)
- 4) Sheet 4 of 17
 - a) Building set back from lot 1758-1770 encroaches in easement area
 - b) URE has easement requirements of 20 feet for underground primary and secondary facilities. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable)

- 5) Sheet 5 of 17
 - a) No comments

- 6) Sheet 6-10 of 17
 - a) URE has easement requirements of 20 feet for underground primary and secondary facilities. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable)
 - b) See building set back comments from sheets 3 and 4

- 7) Sheet 11 Of 17
 - a) No comments

- 8) Sheet 12-14 of 17
 - a) URE has easement requirements of 20 feet for underground primary and secondary facilities. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable)
 - b) See building set back comments from sheets 3 and 4

- 9) Sheet 15-17
 - a)No comments

General comments: Development must comply with URE's Terms and Conditions for Supplying Electric Service.

Electric easement must be platted and shown on final plat plans.

Do not place easement area over building setbacks, adjacent to is acceptable.

Utility Easement for URE electric facilities will be joint use for phone, cable or other private communication entities (fiber).

Street crossing and adjacent property paths to be determined when facilities layout is completed.

Still need to work with developer to complete UREC electrical facility layout.

Regards,

Ed Peper
Engineer II
Union Rural Electric Cooperative, Inc.
PO Box 393

15461 US Route 36
Marysville, Ohio 43040
Direct: (937) 645-9246



Staff Report – Village Neighborhood Section 4 Phase 2

Applicant:	<p>Jerome Village Company, LLC c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrinevolution.com</p>
Request:	Approval of Village Neighborhood, Section 4 (VN-4), Phase 2 – Final Plat.
Location:	Located west of Jerome Road, north of Ravenhill Parkway, and south of Harriott Road in Jerome Township, Union County.

Staff Analysis:	<p>This Final Plat involves 32.004 acres of land and proposes 63 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none"> ○ 4.052 acres in Township right-of-way ○ 1.510 acres in County right-of-way ○ 15.299 acres in single-family residential lots ○ 11.143 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none"> ○ City of Marysville public water service ○ Jerome Village Community Authority Collection and City of Marysville public treatment <p>Preliminary Plat:</p> <ul style="list-style-type: none"> ○ The Preliminary Plat was originally approved in December 2015 and extended December 2017. ○ The Final Plat for Phase 1 was approved in September 2016. <p>• Union County Engineer’s Office</p> <ul style="list-style-type: none"> ○ The Engineer’s Office submitted comments in a letter dated 10-03-19. The Engineer’s Office reported the Construction Drawings are approved, but
------------------------	--



Staff Report – Village Neighborhood Section 4 Phase 2

	<p>construction has not completed. Due to this, a performance bond was required and is under review, pending a decision. The Engineer’s Office felt the comment could be addressed by the October LUC meetings, but did not feel comfortable endorsing an endorsement of approval at the time of its letter’s issuance.</p> <ul style="list-style-type: none">• Union County Soil & Water Conservation District<ul style="list-style-type: none">○ No comments received as of 10-02-19.• Union County Health Department<ul style="list-style-type: none">○ No comments received as of 10-02-19. Standard comments from the Health Department are below:<ol style="list-style-type: none">1. “All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS).”2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being situated within 200’ of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department.”3. “If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS).”• City of Marysville<ul style="list-style-type: none">○ The City submitted a letter dated 10-04-19. The City recommended approval.• Jerome Township<ul style="list-style-type: none">○ No comments received as of 10-02-19.• ODOT District 6<ul style="list-style-type: none">○ No comments received as of 10-02-19.
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Staff Report – Village Neighborhood Section 4 Phase 2

	<ul style="list-style-type: none"> • Ohio Edison <ul style="list-style-type: none"> ○ No comments received as of 10-02-19. • LUC Regional Planning Commission <ol style="list-style-type: none"> 1. Sheet 1: Per Preliminary Plat approval, please add second variance, regarding 80' separation from driveways to existing/proposed roadways (§320). 2. Sheet 1: Please review/update Note 25. under Miscellaneous Restrictions/Notes. (It refers to ERN-6, Phase 2.) 3. Sheet 3 & 4: Please review/update note about DOS having the same meaning as the ERN-2 zoning. Is this accurate? 4. Sheet 4: Is a dimension missing on the east side of lot 1038? Please update if warranted (§323, 8.). 5. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §413, 2.). 6. A letter is required from the County Engineer verifying all required improvements have been installed and approved by the proper officials or agencies, or verifying a bond or other surety, approved by the County Commissioners and their legal counsel, has been furnished assuring installation of the required improvements (§324, 2.; §326; §330).
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Staff Recommendations:	Staff recommends <i>DENIAL</i> of Village Neighborhood, Section 4 (VN-4), Phase 2 – Final Plat. Although the minor technical items in this staff report could be incorporated into the Final Plat Mylar for the 10-10-19 LUC meetings, a letter from Jerome Township certifying the Final Plat conforms with the Township's zoning (401; 413, 2.) and confirmation of approval of the outstanding bond or other surety (324, 2.; §326; §330) is required before staff is comfortable recommending otherwise
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Z&S Committee Recommendations:	
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Application for Final Plat Approval

Date: _____

Name of Subdivision: _____

Section/Phase: _____ Block _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Has a Preliminary Plat been approved for this subdivision?: Yes ___ No ___ Date: _____

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Acreage w/in Approved Preliminary Plat: _____ Acres

Acreage w/in Section and/or Block: _____ Acres

Number of **APPROVED** lots from Preliminary Plat _____



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Number of Lots **PROPOSED** w/in this Section: _____

Number of **APPROVED** units from Preliminary Plat: _____

Number of Units **PROPOSED** w/in this Section: _____

Typical Lot Width: _____ Feet Typical Lot Area: _____

Single Family Units: _____ Sq. ft Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____

Recreation facilities to be provided: _____

Approved method of Supplying Water Service: _____

Approved method of Sanitary Waste Disposal: _____

Were any Requests for Variance(s) from the Subdivision Regulations approved by the County Commissioners? _____

Approved 50' righth-of-way Widths Resolution #306-09 Date 6-11-09

Construction improvements have achieved satisfactory completion and has been Certified by the County Engineer in accordance with Section 326 and 330 of the Subdivision Regulation? *If no, continue to next question.* _____

If no to the above question, please submit a Performance Bond in accordance with the following:

Has estimated construction cost been submitted by the responsible design engineer? _____

Has estimated construction cost been approved by the County Engineer? _____

Bond has been submitted to County Engineer? _____

Bond approved by County Commissioners? _____

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.		
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.		
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat		
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.		
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.		
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.		
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.		
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.		
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.		
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.		
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.		
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas. N/A		
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.		
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).		
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.		



Logan-Union-Champaign regional planning commission

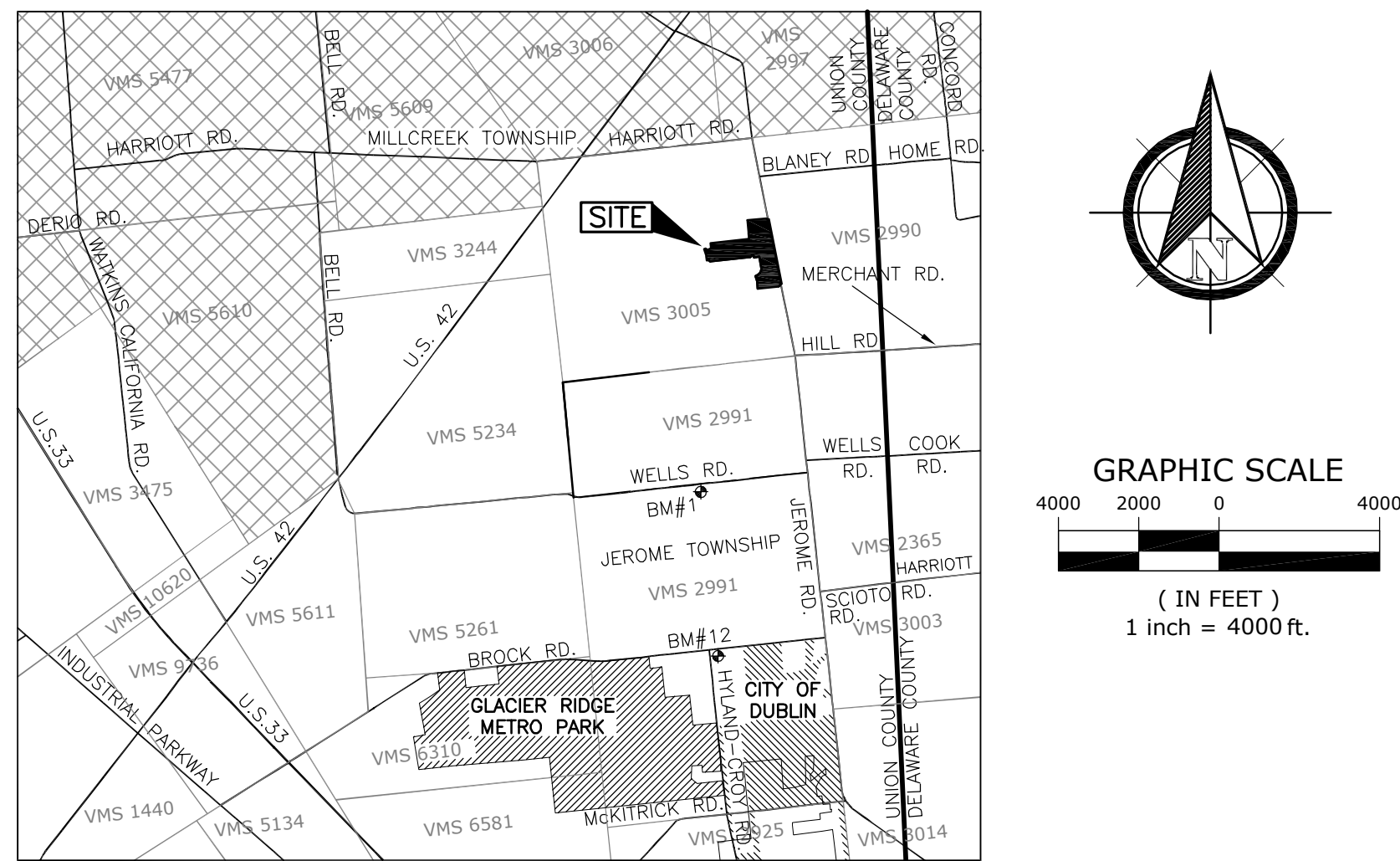
Director: Bradley J. Bodenmiller

15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.		
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.		
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.		
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.		
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.		
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.		
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.		
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.		

10820 St Rt 347, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

LOCATION MAP



VILLAGE NEIGHBORHOOD SECTION 4 PHASE 2

BEING PART OF VMS 3005, JEROME TOWNSHIP

UNION COUNTY, OHIO

LUC. R.P.C. FILE # _____

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 3005 and being 14.918 acres of land located in the remainder of that 194.363 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 672, Page 527 and 17.086 acres of land located in the remainder of that 43.026 acre tract of land as described in Official Record 716, Page 335, Recorder's Office, Union County, Ohio.

Know all men by these presents that Jerome Village Company, LLC, owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

Jerome Village Company, LLC:
By: Nationwide Realty Investors, Ltd., its manager

By: _____
James Rost, Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness _____

Printed Name: _____

Signature: _____ Witness _____

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared James Rost, Vice President and Operating Officer of Nationwide Realty Investors, Ltd., as manager of Jerome Village Company, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____
Notary Public

Reviewed this ____ day of _____, 2019: _____
Chairman, Jerome Township Trustees

Approved this ____ day of _____, 2019: _____
Union County Engineer

Approved this ____ day of _____, 2019: _____
County Health Department

Approved this ____ day of _____, 2019: _____
LUC Regional Planning Commission

Rights-of-way for public streets and roads herein dedicated to public use are hereby approved this ____ day of _____, 20____ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County. +

Approved this ____ day of _____, 2019: _____
Union County Commissioner

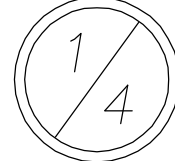
Union County Commissioner _____
Union County Commissioner

Transferred this ____ day of _____, 2019: _____
Union County Auditor

Filed for record this ____ day of _____, 2019, at ____ am/pm.

Recorded this ____ day of _____, 2019 at ____ am/pm in

Plat Book _____, Page _____
Union County Recorder



SHEET INDEX

Sheet 1 - Title/Signature Sheet
Sheet 2 - VN 4-2 Index/Overview
Sheet 3 - VN 4-2 Detail Sheet
Sheet 4 - VN 4-2 Detail Sheet

BASIS OF BEARINGS
The bearings shown hereon are based on the Ohio State Plane Coordinate System (North Zone) as established by GPS observations.

VN 4-2 Area Summary

Right-of-Way (Township)	4.052	AC
Right-of-Way (County)	1.510	AC
Lots	15.299	AC
Openspace	11.143	AC
Total	32.004	AC

VN 4-1 Lot Summary

63	
70' Frontage	18
80' Frontage	45

VN 4-1 Density

Gross	(Lots/Total Area)	1,969 du/ac
Net	(Lots/Lot Area)	4.118 du/ac

Minimum Lot Size

70' Frontage	9,100	SF
80' Frontage	10,400	SF

Setbacks	70' Frontage	80' Frontage
Front Yard	25 FT	25 FT
Rear Yard	30 FT	30 FT
Side Yard	5 FT	6 FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acres of Parcel within VN 4-2
17-0010015.0010	116-00-00-059.000	14.918 AC.
17-0010014.0000	116-00-00-058.000	17.086 AC.

Jerome Village Blanket Notes
Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0390D and 39159C0395D, effective date December 16, 2008.
Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.
Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.
Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.
Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.
Note F: Removed (not applicable to VN 4-2)
Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.
Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8' and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.
Note I: Removed (not applicable to VN 4-2)
Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Jerome Village Variances
1. Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-09. Dated 6-11-09.

SURVEYOR CERTIFICATION:
American Land Surveyors do hereby certify the following:
1. The accompanying plat represents a subdivision of land in VMS 3005, Jerome Township, Union County, Ohio.
2. The tract has an area of 5.562 acres in streets, 15.299 acres in lots, and 11.143 acres in Reserves making a total of 32.004 acres.
3. This plat was prepared based on a field survey performed in March, 2016 by American Land Surveyors, LLC.;
4. All dimensions are shown in feet and decimal parts thereof, dimensions shown along curved lines are chord distances;
5. This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0390D and 39159C0395D dated December 16, 2008
6. Monumentation set at the locations shown hereon consist of a 5/8" inch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription "Jon Adcock, S-8461".
7. The accompanying plat is a correct representation of Village Neighborhood Section 4 Phase 2 as surveyed.

Signed and sealed this ____ day of _____, 2019.

Jon (Brett) Adcock, Registered Professional Surveyor No. 8461

DEVELOPER:
Jerome Village Company, LLC.
375 N. Front Street, Suite 200
Columbus, Ohio 43215
Attention: Gary Nuss

SURVEYOR:
American Land Surveyors
1346 Hemlock Court N.E.
Lancaster, Ohio 43130
Attention: Jon (Brett) Adcock, P.S.

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 2 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE, AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

- There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
- N/A
- Grading of the storm water retention areas shall not be changed.
- N/A
- The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
- N/A
- No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.
- The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
- All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

- Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

- This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, tree, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground tiles that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upground properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground tile on your property.
- Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within Poppyseed Drive, Orchard Hill Drive and Apricot Way. The owners of the fee simple titles to all of the lots in Eversole Run Neighborhood Section 6 Phase 2 Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
- Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Ohio Edison, telephone service is provided by Frontier Communications or Spectrum, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

- No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
- Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
- All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
- All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
- If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
- No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
- No on-street parking within Village Neighborhood Section 4 Phase 2.
- Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Ravenhill Parkway. Connections shall be directly adjacent to the open space along Ravenhill Parkway or, if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
- Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements (U)

We the undersigned owners of the within platted land, do hereby grant unto Jerome Village Community Authority, City of Marysville, Ohio Edison, Frontier Communications, Time Warner Cable, Columbia Gas, and their successors and assigns (Hereinafter referred to as grantees) A permanent right-of-way and easement ten (10) feet in width under, over, and through all sublots and all lands owned by the grantor shown hereon and parallel with and contiguous to Fig Grove Way, Begonia Drive, Poppyseed Drive, Apricot Drive and Orchard Hill Drive and also upon land as depicted hereon to construct, place, operate, maintain, repair, reconstruct or relocate waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements (D)

We the undersigned owners of the platted land, do hereby by grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Drainage Easement", "Utility Easement" and "Utility Easement +to construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

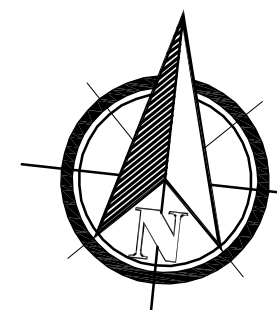
ALS AMERICAN LAND SURVEYORS

Focused on Excellence

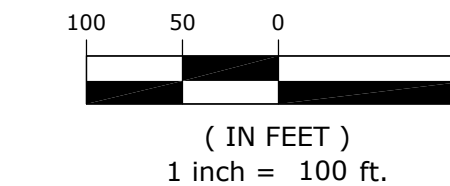
FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	SEPTEMBER 17, 2019	
SCALE:	N/A	

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 2

VIRGINIA MILITARY SURVEY No.3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

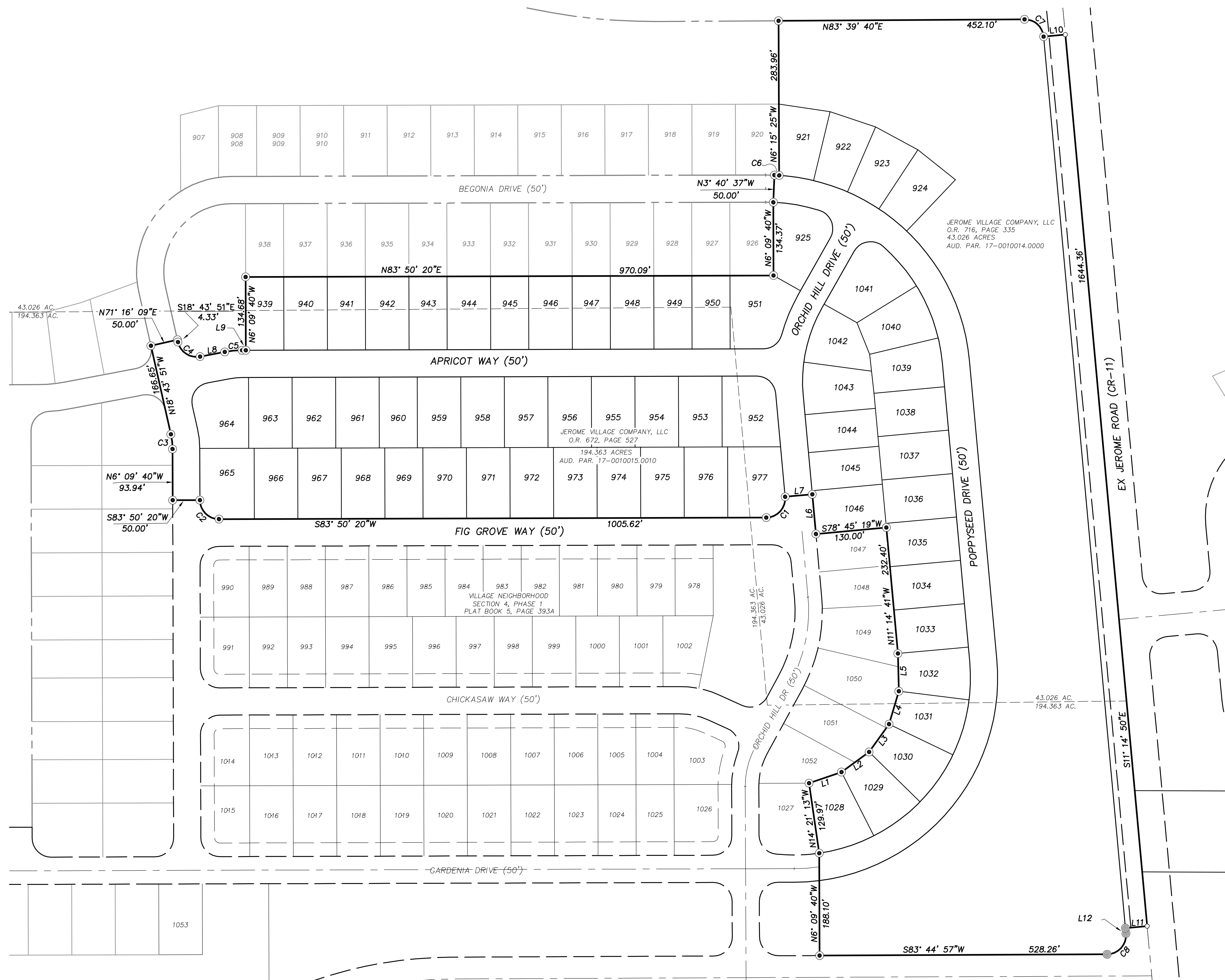


GRAPHIC SCALE



LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."



Line #	Direction	Length
L1	N65° 09' 16"E	62.96'
L2	N47° 57' 51"E	62.79'
L3	N29° 39' 30"E	62.95'
L4	N10° 32' 28"E	63.07'
L5	N7° 22' 51"W	69.27'
L6	N11° 14' 41"W	73.23'
L7	S78° 45' 19"W	50.00'
L8	N73° 20' 06"E	46.13'
L9	N83° 50' 20"E	6.90'
L10	N78° 45' 10"E	40.00'
L11	S78° 45' 10"W	40.00'
L12	S11° 14' 50"E	10.00'

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	35.00'	95° 05' 01"	58.08'	S36° 17' 50"W	51.64'
C2	35.00'	90° 00' 00"	54.98'	N51° 09' 40"W	49.50'
C3	125.00'	12° 34' 12"	27.42'	N12° 26' 46"W	27.37'
C4	35.00'	87° 56' 03"	53.72'	S62° 41' 53"E	48.60'
C5	175.00'	10° 30' 14"	32.08'	N78° 35' 13"E	32.04'
C6	375.00'	1° 20' 18"	8.76'	N86° 59' 32"E	8.76'
C7	35.00'	85° 05' 30"	51.98'	S53° 47' 35"E	47.33'
C8	35.00'	94° 59' 46"	58.03'	S36° 15' 04"W	51.61'

2/4

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Lancaster, OH 43130
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(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
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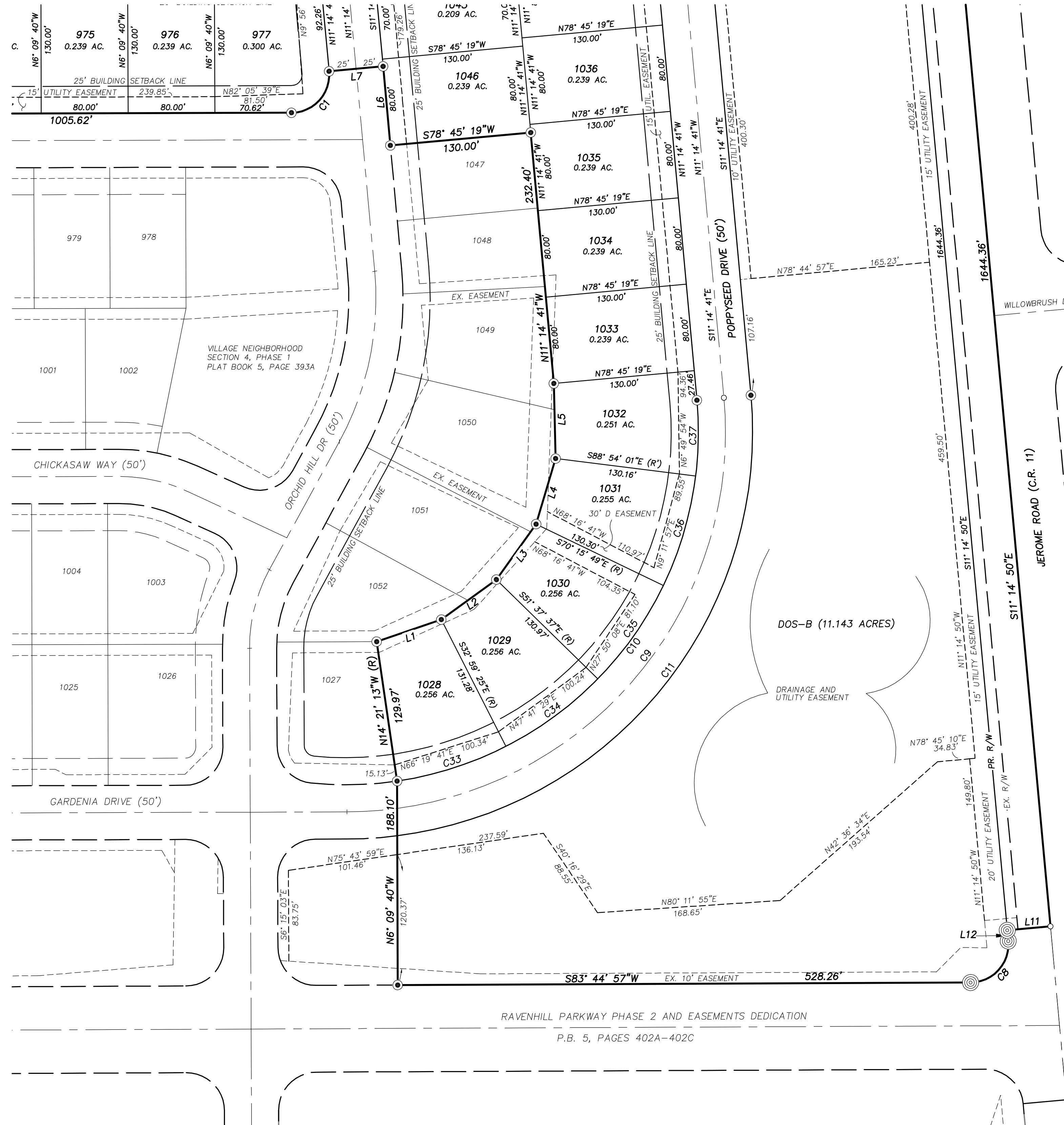
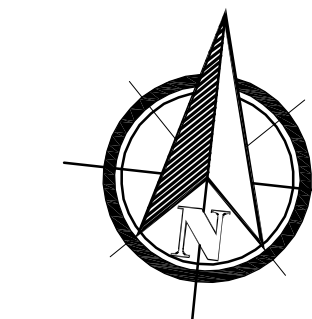
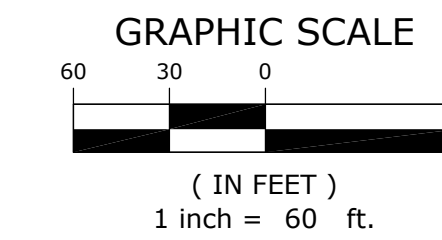


Focused on Excellence

FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	SEPTEMBER 17, 2019	
SCALE:	1"=100'	

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 2

VIRGINIA MILITARY SURVEY No.3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- IRON PIN END - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- (R) RADIAL LINE
- DOS DEDICATED OPENSACE AS DEFINED IN ERN2 ZONING
- D DRAINAGE
- U UTILITY
- D & U DRAINAGE & UTILITY

Curve Table (Centerline and right-of-way)

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C9	350.00'	87° 28' 47"	534.38'	N32° 29' 43"E	483.97'
C10	325.00'	86° 53' 28"	492.87'	N32° 12' 03"E	446.98'
C11	375.00'	87° 59' 22"	575.89'	N32° 45' 00"E	520.94'

Curve Table (Lots)

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C33	325.00'	18° 38' 12"	105.71'	S66° 19' 41"W	105.25'
C34	325.00'	18° 38' 12"	105.71'	S47° 41' 29"W	105.25'
C35	325.00'	18° 38' 12"	105.71'	S29° 03' 17"W	105.25'
C36	325.00'	18° 38' 12"	105.71'	S10° 25' 05"W	105.25'
C37	325.00'	12° 20' 40"	70.02'	S5° 04' 21"E	69.89'

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com



Focused on Excellence

FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	SEPTEMBER 17, 2019	
SCALE:	1"=60'	

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 2

VIRGINIA MILITARY SURVEY No.3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

ALS AMERICAN LAND SURVEYORS

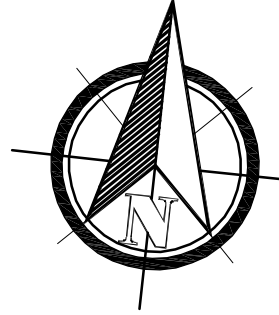
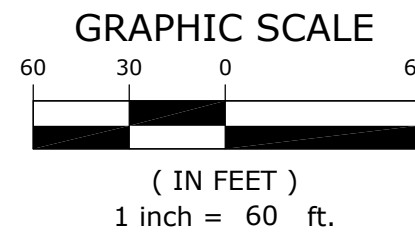
Focused on Excellence

Curve Table (Centerline and right-of-way)

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C12	150.00'	12° 34' 12"	32.91'	N12° 26' 46"W	32.84'
C13	175.00'	12° 34' 12"	38.39'	N12° 26' 46"W	38.32'
C14	150.00'	10° 30' 14"	27.50'	N78° 35' 13"E	27.46'
C15	125.00'	10° 30' 14"	22.92'	S78° 35' 13"W	22.88'
C16	300.00'	34° 43' 35"	181.83'	S6° 07' 06"W	179.06'
C17	300.00'	12° 03' 56"	63.18'	S5° 12' 43"E	63.06'
C18	300.00'	22° 39' 39"	118.65'	S12° 09' 05"W	117.88'
C19	350.00'	82° 25' 56"	503.55'	N52° 27' 39"W	461.23'
C20	350.00'	27° 09' 31"	165.90'	N80° 05' 51"W	164.35'
C21	350.00'	55° 16' 25"	337.65'	N38° 52' 54"W	324.71'
C22	35.00'	101° 56' 26"	62.27'	N27° 29' 19"W	54.38'
C23	375.00'	82° 25' 56"	539.52'	N52° 27' 39"W	494.18'
C24	325.00'	43° 19' 59"	245.80'	N32° 54' 41"W	239.98'
C25	375.00'	41° 13' 33"	269.82'	N31° 51' 28"W	264.04'
C26	275.00'	34° 43' 35"	166.67'	S6° 07' 06"W	164.14'
C27	35.00'	84° 54' 59"	51.87'	N53° 42' 10"W	47.25'
C28	35.00'	74° 27' 25"	45.48'	N46° 36' 38"E	42.35'
C29	325.00'	14° 05' 58"	79.98'	S16° 25' 55"W	79.78'
C30	325.00'	15° 13' 05"	86.32'	N86° 04' 04"W	86.07'
C31	35.00'	92° 31' 57"	56.24'	S27° 18' 07"W	50.38'
C32	35.00'	101° 56' 26"	62.27'	S74° 27' 07"W	54.38'

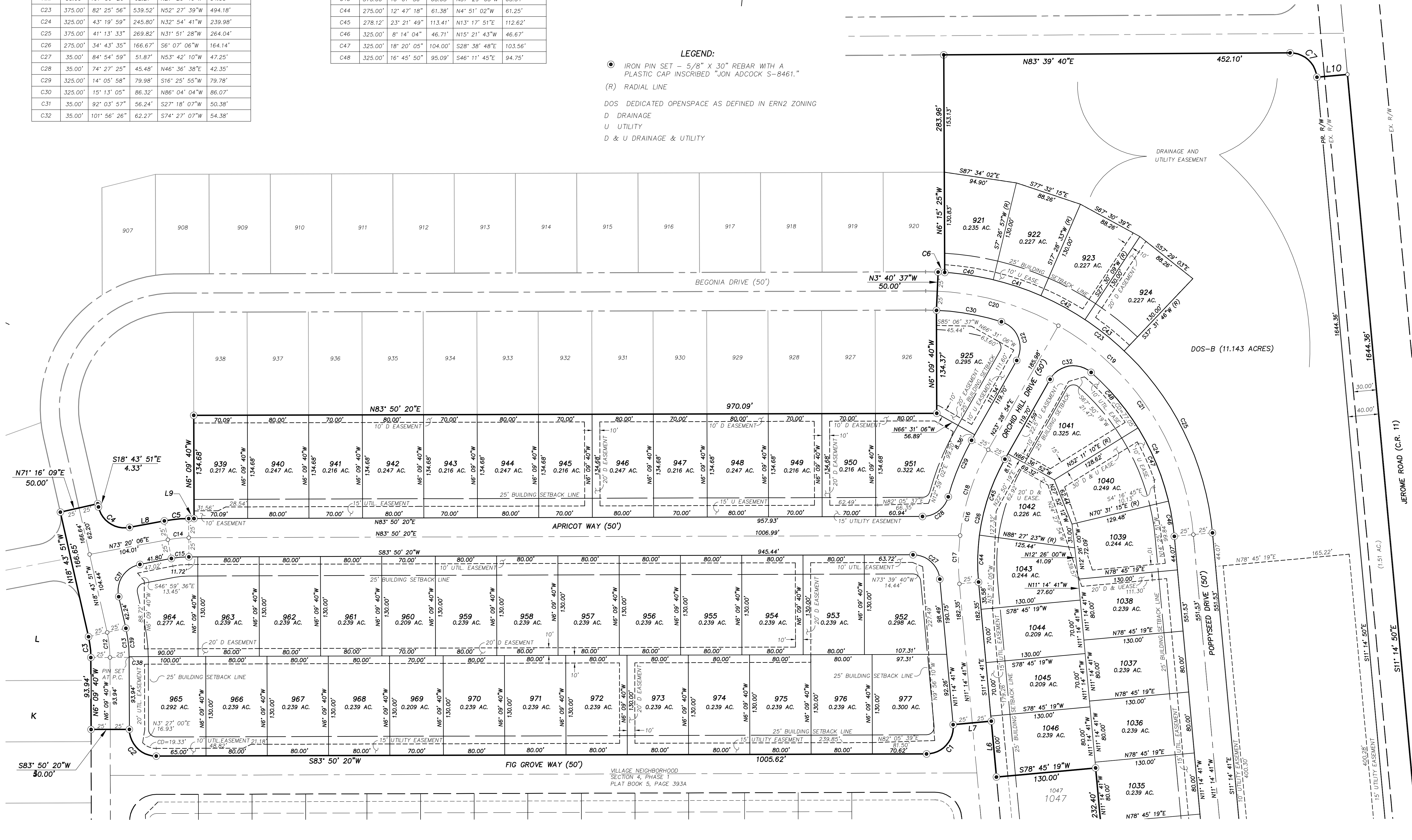
Curve Table (Lots)

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C38	175.00'	0° 20' 48"	1.06'	N6° 20' 04"W	1.06'
C39	175.00'	12° 13' 23"	37.33'	N12° 37' 10"W	37.26'
C40	375.00'	9° 47' 15"	64.06'	N87° 26' 41"W	63.98'
C41	375.00'	10° 01' 36"	65.63'	N77° 32' 15"W	65.54'
C42	375.00'	10° 01' 36"	65.63'	N67° 30' 39"W	65.54'
C43	375.00'	10° 01' 36"	65.63'	N57° 29' 03"W	65.54'
C44	275.00'	12° 47' 18"	61.38'	N4° 51' 02"W	61.25'
C45	278.12'	23° 21' 49"	113.41'	N13° 17' 51"E	112.62'
C46	325.00'	8° 14' 04"	46.71'	N15° 21' 43"W	46.67'
C47	325.00'	18° 20' 05"	104.00'	S28° 38' 48"E	103.56'
C48	325.00'	16° 45' 50"	95.09'	S46° 11' 45"E	94.75'

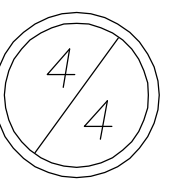


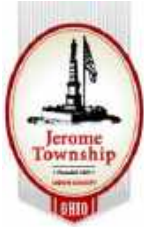
LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- (R) RADIAL LINE
- DOS DEDICATED OPENSACE AS DEFINED IN ERN2 ZONING
- D DRAINAGE
- U UTILITY
- D & U DRAINAGE & UTILITY



FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	16-001	
DATE:	SEPTEMBER 17, 2016	
SCALE:	1"=60'	





Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

October 7, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347
East Liberty, Ohio 43319

RE.: Final Plat - Jerome Village VN-4 Section 4 Phase 2

Dear Mr. Bodenmiller,

I have reviewed the plat labeled Village Neighborhood Section 4 Phase 2 as to compliance with the Township's Zoning Resolution and approved Final Development Plan VN-4. Based on compliance with the approved plan and other zoning regulations, I have no additional comments regarding the final plan.

Very respectfully,

Eric Snowden
Jerome Township Zoning Inspector



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

October 3, 2019

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Village Neighborhood Section 4, Phase 2
Final Plat Review

Brad,

We have completed our review for the above final plat, received by our office on September 24th, 2019. The construction drawings have been approved by our office. Construction work has been completed, but has not yet been approved by our office. As such, we have requested and received a performance bond for improvements shown on the plat, in the amount of 20% of the engineer's opinion of cost. Our Prosecutor's Office is in the process of reviewing the performance bond and we anticipate gaining Commissioners approval prior to the Executive Committee meeting.

Due to this outstanding comment, we do not feel comfortable issuing an endorsement of approval at this time. However, due to the procedural nature of the comments, we feel that they can be addressed by the October 10th Zoning and Subdivision Committee/Executive Committee meetings. I will keep you updated on the status of the above outstanding comments and issue correspondence of approval when these items are addressed. If you have any questions or concerns, feel free to contact me at (937) 645-3165.

Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, Union Soil and Water Conservation District (via email)



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

October 4, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty OH 43319

**Subject: Village Neighborhood Section 4 Phase 2
Final Plat Comments**

The City of Marysville has reviewed the Final Plat for Village Neighborhood Section 4 Phase 2 and recommends approving the Final Plat.

Please contact us if you need additional clarification or wish to discuss further.

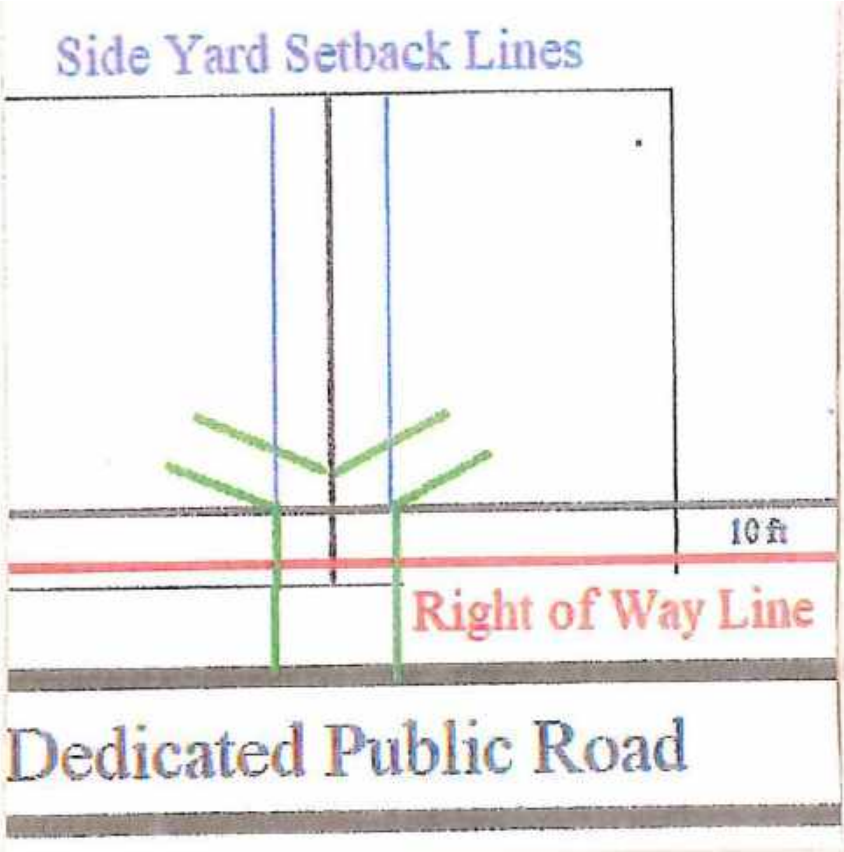
Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



Staff Report – Jerome Township Zoning Amendment

<p>Township:</p>	<p>Jerome Township Zoning Commission c/o Anita Nicol 9777 Industrial Parkway Plain City, Ohio 43064</p>
<p>Request:</p>	<p>The Zoning Commission initiated an amendment to the text of the Zoning Resolution. The amendment would add an additional standard to the “Lot Size and Yard Setback” requirements for the Rural, Low Density, and Medium Density Residential zoning districts. This additional standard applies to Common Access Drives (CAD)</p> <p>It is accompanied by the following diagram:</p>  <p>The diagram, titled "Side Yard Setback Lines", illustrates a rectangular lot. A vertical line represents the "Right of Way Line" of a "Dedicated Public Road" located below the lot. A horizontal line, 10 feet from the road, marks the boundary of the lot. Two vertical blue lines represent the side yard setback lines, which are positioned 10 feet from the right-of-way line. A tree is shown within the lot, with its trunk extending to the right-of-way line and its canopy extending into the lot.</p>
<p>Location:</p>	<p>Jerome Township is in Union County, being the southeastern-most township.</p>



Staff Report – Jerome Township Zoning Amendment

Staff Analysis:

Staff has taken the text and broken the proposal down into 5 parts for analysis.

Part 1) The CAD shall be centered on the property line.

The Eastern Union County Transportation Plan by Burton Planning Services addresses this point:

“...zoning regulations can include provisions that promote shared driveway(s)...a method to reduce the number of drives, such provisions can include requirements for access drives to be located near adjacent property lines, along with requirements and incentives to encourage shared driveways... Property owners get monetary benefits, while the community sees a reduction in the number of access points along heavily travelled roadways.”

Part 2) The CAD can be inside of the side yard setback until it reaches a depth of 10’ beyond the right-of-way line, subject to utility easements. Once beyond this distance, the drives must adhere to the setback.

In the diagram provided by the Township, portions of the CAD are still within the side yard setbacks, in direct conflict with the proposed text. Staff recommends reconciling the diagram with the text.

Also, as written, it is unclear what the distance should be if there is a utility easement. Staff recommends clarifying the distance and how it relates to utility easements.

Part 3) Shared portion must be at least 20’ wide, but no more than 40’.

The Union County Engineer (UCE) has specifications for CADs in the Technical Design Standards, which does state that Townships can have more restrictive standards. Regarding CAD driveway width, the standards specify a 12’ minimum or 10’ minimum if only serving two.

The allowance of a 10’ for a drive serving only 2 lots in the County CAD Regulations makes a 20’ minimum seem excessive. A 20’ minimum is essentially just two residential drives placed immediately adjacent to one another. The Township might further consider the 20’ minimum width.

Placing a maximum width of 40’ provides clarity and prevents excessive and expansive driveways.



Staff Report – Jerome Township Zoning Amendment

	<p>Part 4) No more than 2 properties can share a driveway. Comments from the Union County Prosecutor’s Office suggest rewording this sentence to either:</p> <ol style="list-style-type: none"> 1. Only two adjacent lots can share a common access driveway. <p>-Or-</p> <ol style="list-style-type: none"> 2. Only two lots with a common property line at the site of the common access driveway can share the common access driveway. The common property line must be at least [SOME MULTIPLE OF THE WIDTH OF THE CAD or ___ feet] <p>The first is a simple rewording but a little more efficient and concise. The second is an attempt to guard against some unimaginable layout of lots that brings the lots together with only a tiny length of common boundary. Staff recommends option 2.</p> <hr/> <p>Part 5) Must be made of a uniform material, concrete or asphalt.</p> <p>Many LUC members have regulations about driveway construction. However, the surface material is less specific and generally just required to be a dustless surface. Other hard, durable, dustless surfaces can improve drainage, whereas concrete and asphalt are impervious and allow for ponding of water on their surfaces.</p> <p>Driveway standards from UCE state that concrete drives on uncurbed roads should be terminated 4 feet from the edge of the roadway pavement. The Township might further consider the material requirements.</p> <p>Additional thought: Is this only for required CADs dictated by UCE? The text reads: “Where the County Engineer has said...” If the intent is to cover all CADs, then the existing language is insufficient.</p>
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Staff Recommendations:	Staff recommends APPROVAL WITH MODIFICATIONS of the proposed zoning text amendment based on the comments from the Union County Prosecutor’s Office and other research. Those modifications are outlined in the staff report.
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Z&S Committee Recommendations:	
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Jerome Township Zoning Commission

Anita Nicol
Clerk

9777 Industrial Parkway
Plain City, Ohio 43064

Office: (614) 873-4480 x102
Fax: (614) 873-8664

September 25, 2019

Mr. Aaron Smith
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty, Ohio 43319

Dear Mr. Smith:

This letter is to inform you that on September 23, 2019 the Jerome Township Zoning Commission met and voted to send to the LUC the following Zoning Text Amendment:

1. Application 19-ZA-12, Zoning Text Amendment to Sections 425.04, 430.04, and 435.04. The amendment to these sections will be the addition of a #9 under the Common Access Drive in all sections to read as: Where the County Engineer has said that two adjacent properties must share a common access driveway to the road, the common access portion shall be centered on the property line of the two properties. The common part of the driveway for any residential uses or any other permitted, accessory, or approved conditional uses, is permitted to make use of the side yard setbacks until it is 10 feet beyond the right of way line, subject to utility easements, and then must continue completely outside of the side yard setback. The width of the shared portion of the driveway be a minimum of 20 feet and a maximum of 40 feet wide. In no case may more than two properties share a common access driveway nor may any non-adjacent properties. The common portion of the driveway shall be of a uniform material and be either concrete or asphalt. This is applied to all properties within the RU (LDR, & MDR) District.

The Jerome Township Zoning Commission set the hearing for October 28, 2019 here at the Jerome Township Hall at 9777 Industrial Parkway, Plain City, Ohio 43064 at 7:00 p.m.

It was moved by Kermit Morse and seconded by Aaron Wright to send these changes to the LUC Planning Commission for their review, recommendation and approval.

The vote resulted as follows:

Jeff Rymer , yes
Dan Bernstein, yes
Ken Gordon, yes
Kermit Morse, yes

If you need further information, please feel free to call me.

Sincerely yours,



Anita Nicol
Jerome Township Zoning Clerk

cc: Brad Bodenmiller



Logan-Union-Champaign regional planning commission

Director: Dave Gulden

Zoning Text Amendment Checklist

Date: Sept. 25, 2019 Township: Jerome Township

Amendment Title: 425.04 (q.) 430.04 (q.) 435.04 (q.) Add # 9 Re: Common Access Drives

Notice: Incomplete Amendment requests **will not** be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Text Amendment change must be received in our office along with a cover letter, explaining the proposed zoning text change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (second Thursday of every month). It is recommended that a person who is able to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Text Amendment Change (s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township Point of Contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Attachment of Zoning Text Amendment with changes highlighted or bolded	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of current zoning regulation, or section to be modified for comparison	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning text amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted language.

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12

6. Rear Yard Setbacks

The minimum rear yard setback for all buildings and structures in the RU District shall be 30 feet.

7. Architectural Projections

Open structures such as porches, canopies, balconies, platforms, carports, and covered patios, and similar architectural projections shall be considered parts of the building or structure to which it is attached and shall not project into the required minimum front, side or rear yard.

8. Driveways and parking areas

Driveways and parking areas for any residential use, or any other permitted, accessory, or approved conditional use, shall not be permitted within any side or rear yard setback within the RU District. Except as noted herein, parking areas for any permitted use or approved conditional or accessory use shall not be located within the front yard setback of any property within the RU district.

9. Common Access Drives

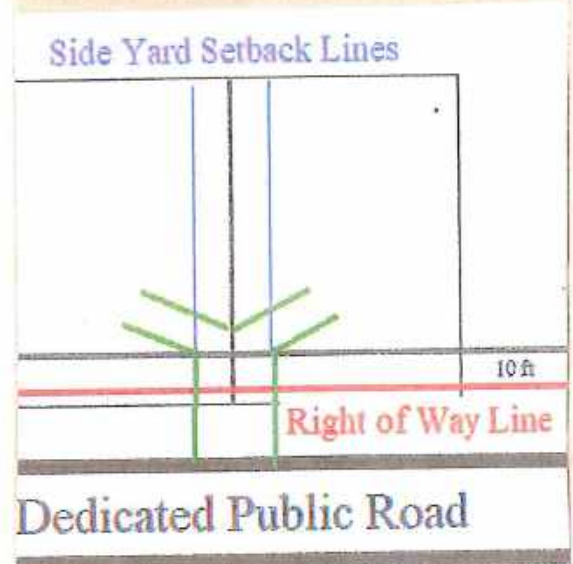
Where the County Engineer has said that two adjacent properties must share a common access driveway to the road, the common access portion shall be centered on the property line of the two properties. The common part of the driveway for any residential uses, or any other permitted, accessory, or approved conditional uses, is permitted to make use of the side yard setbacks until it is 10 feet beyond the right-of-way line, subject to utility easements, and then must continue completely outside of the side yard setback. The width of the shared portion of the driveway be a minimum of 20 feet and a maximum of 40 feet wide. In no case may more than two properties share a common access driveway nor may any non-adjacent properties. The common portion of the driveway shall be of a uniform material and be either concrete or asphalt. This is applied to all properties within the RU District.

425.05 Building and Site Development Standards

The following standards shall apply to the development of all permitted uses and structures, accessory uses and structures, and approved conditional uses and structures within the RU District:

2. Minimum and Maximum Square Footages

- a) Residential Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – Single family dwellings in the RU District shall provide a minimum of 1,200 square feet of floor area for a single story dwelling and a minimum of 1,600 square feet of floor area for a split-level or multi-story dwelling. Floor area shall be measured as defined in Chapter 3.



Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

3. Maximum Building Height

The maximum height of buildings and structures shall be measured as defined in Section 300 of this Resolution and shall meet the requirements listed below:

- a) Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – The maximum building height for single family dwellings in the RU District shall be 35 feet.
- c) All Other Permitted Uses and Approved Conditional Uses – The maximum building height for all other permitted uses and approved Conditional Uses shall be 35 feet.

4. Residential Building Standards

The following standards apply to all single-family dwellings within the RU District:

- a) Mobile Homes, Travel Trailers, or Park Trailers– The use of a Mobile Home, Travel Trailer, or Park Trailer, as defined by ORC 4501.01, is prohibited within the RU District.
- b) Manufactured Home – The use of a permanently sited Manufactured Home, as defined by ORC 3781.06, is permitted within the RU District provided that the home meets all applicable residential building code standards, is installed on a permanent foundation, and meets all minimum floor area requirements.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

430 Low Density Residential District (LDR)

The purpose and Intent of the Low Density Residential (LDR) District is to provide areas for larger lot, lower density residential uses and / or estate lots that may or may not have access to centralized sewer services as outlined in the Jerome Township Comprehensive Plan. The Low Density Residential (LDR) District will provide a transition between Agricultural and Rural Residential uses and more urbanized areas. This district supersedes the R-1 Low Density Residential District in existence prior to the enactment of this Resolution.

430.01 Permitted uses

Within the LDR District the following uses, developed in accordance with all other provisions of this Resolution, shall be permitted:

1. One single-family detached dwelling per lot
2. Limited Home Occupations subject to the requirements of section 635 of this Resolution.
3. 6111 – Elementary and Secondary Schools
4. 813110 Church or other places of religious worship
5. 922160 – Fire Protection Services
6. Community and Public Parks, playgrounds and sports fields

430.02 Accessory Uses and Structures

Accessory buildings or structures normally associated with single family residential use including detached garages, tool or garden sheds, playhouses and swimming pools subject to the requirements of section 645 of this Resolution.

430.03 Conditional Uses

The following uses may be permitted as Conditional Uses in the LDR District by the Board of Zoning Appeals in accordance with the requirements of Section 240 of this Resolution and subject to the development standards for such uses as established herein.

1. 921140 – Executive and Legislative Offices
2. Telecommunications towers subject to the requirements of Section 655 of this Resolution.
3. Expanded Home Occupation subject to the requirements of Section 635 of this Resolution.
4. Accessory Apartment (Granny Flat), subject to the requirements of Section 645 of this Resolution.
5. Small Wind Projects (less than 5 mw) subject to the requirements of Section 650 of this Resolution.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

430.04 Lot Size and Yard Setback Standards

The following lot size and yard setback standards shall apply to all lots in the LDR District:

1. Minimum Lot Size

The minimum lot size for parcels having access to public sewer and water services shall be one half (½) acre. Without access to public sewer and water the minimum lot size shall be 2 acres, or such larger size as determined necessary by the Union County Health Department. In addition, the minimum lot size for all permitted and conditional uses shall be adequate to allow for the development of the lot in accordance with the applicable development standards of the LDR District and this Resolution.

2. Minimum Lot Frontage

All lots in the LDR District shall provide a minimum of 120 feet of continuous frontage as defined in Chapter 3 of this Resolution. Lot frontage on a curved road or a cul-de-sac may be reduced to 80 feet provided that a minimum width of 120 feet shall be maintained at the front yard setback line.

3. Flag Lots

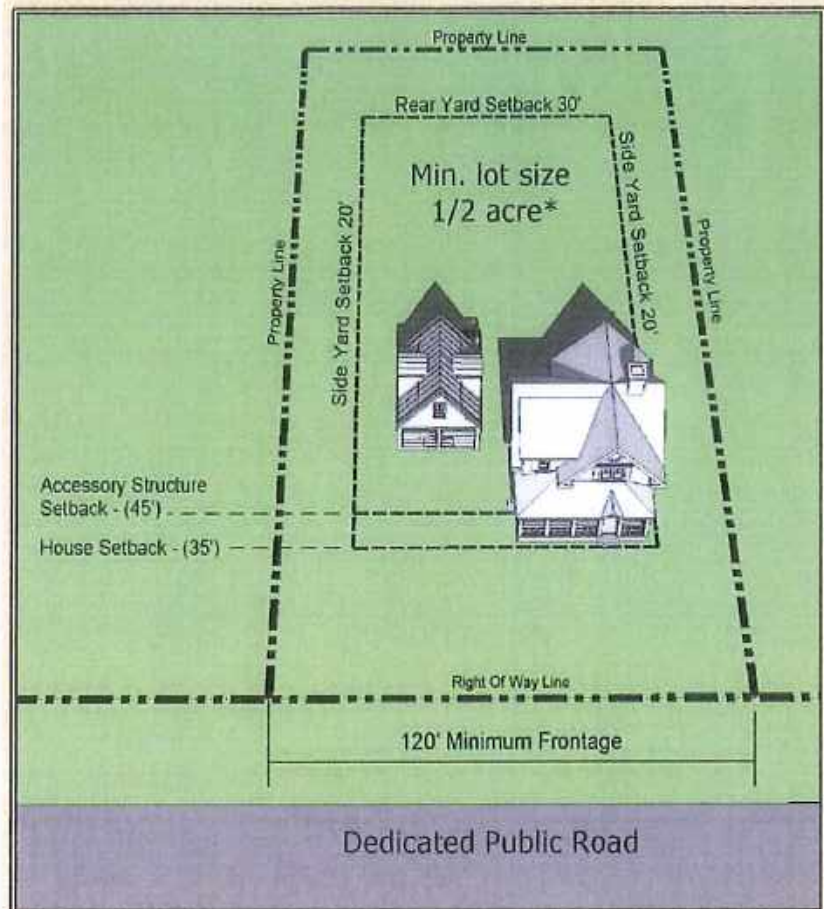
Flag lots are not permitted within the LDR District.

4. Front Yard Setbacks

All front yard setbacks, as defined in Section 300, shall be measured from the right of way of the dedicated public road. Front yard setbacks for the LDR District shall be as follows:

- a) Single Family Dwellings - The front yard setback for single family dwellings shall be 35 feet.
- b) The front yard setback for all other buildings or structures supporting a permitted, conditional, or accessory use of the property shall be 45'.

Note: In the LDR District it shall be prohibited to construct any detached garage or residential accessory structure closer to the public road than the principal dwelling.



Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

5. Side yard Setbacks

The minimum side yard setback for all buildings and structures in the LDR District shall be 20 feet.

6. Rear Yard Setbacks

The minimum rear yard setback for all buildings and structures in the LDR District shall be 30 feet.

7. Architectural Projections

Open Structures such as porches, canopies, balconies, platforms, carports, and covered patios, and similar architectural projections shall be considered parts of the building or structure to which it is attached and shall not project into the required minimum front, side or rear yard.

8. Driveways and parking areas

Driveways and parking areas for any residential use, or any other permitted, accessory, or approved conditional use, shall not be permitted within any side or rear yard setback within the LDR District. Except as noted herein, parking areas for any permitted use or approved conditional or accessory use shall not be located within the front yard setback of any property within the LDR district.

9. Common Access Drives

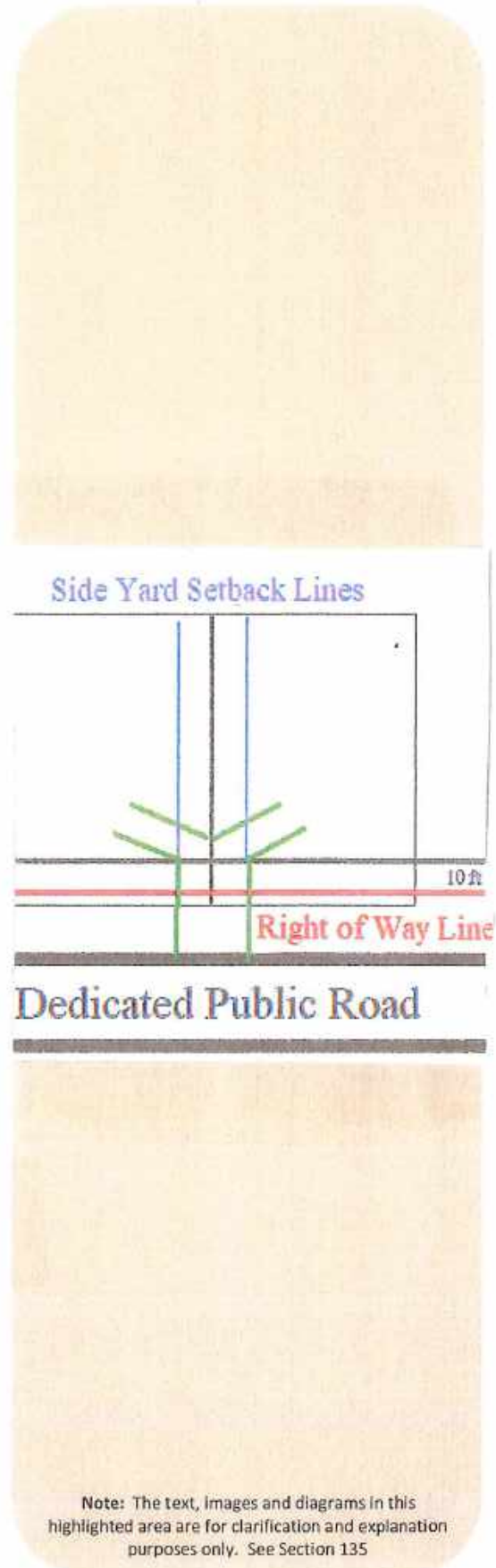
Where the County Engineer has said that two adjacent properties must share a common access driveway to the road, the common access portion shall be centered on the property line of the two properties. The common part of the driveway for any residential uses, or any other permitted, accessory, or approved conditional uses, is permitted to make use of the side yard setbacks until it is 10 feet beyond the right-of-way line, subject to utility easements, and then must continue completely outside of the side yard setback. The width of the shared portion of the driveway be a minimum of 20 feet and a maximum of 40 feet wide. In no case may more than two properties share a common access driveway nor may any non-adjacent properties. The common portion of the driveway shall be of a uniform material and be either concrete or asphalt. This is applied to all properties within the LDR District. (Revised September 23, 2019)

430.05 Building and Site Development Standards

The following standards shall apply to the development of all permitted uses and structures, accessory uses and structures, and approved conditional uses and structures within the LDR District:

1. Minimum and Maximum Square Footages

- a) Residential Accessory Structures – See Section 645 for regulations concerning accessory structures.



Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

- b) Single Family Dwellings – Single family dwellings in the LDR District shall provide a minimum of 1,200 square feet of floor area for a single story dwelling and a minimum of 1,600 square feet of floor area for a split-level or multi-story dwelling. Floor area shall be measured as defined in Chapter 3.

2. Maximum Building Height

The maximum height of buildings and structures shall be measured as defined in Section 300 of this Resolution and shall meet the requirements listed below:

- a) Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – The maximum building height for single family dwellings in the LDR District shall be 35 feet.
- c) All Other Permitted Uses and Approved Conditional Uses – The maximum building height for all other permitted and approved conditional uses shall be 35 feet.

3. Residential Building Standards

The following standards shall apply to all single-family dwellings within the LDR District:

- a) Mobile Homes, Travel Trailers, or Park Trailers– The use of a Mobile Home, Travel Trailer, or Park Trailer, as defined by ORC 4501.01, is prohibited within the LDR District.
- b) Manufactured Home – The use of a permanently sited Manufactured Home, as defined by ORC 3781.06, is permitted within the LDR District provided that the home meets all applicable residential building code standards, is installed on a permanent foundation, and meets all minimum floor area requirements.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

435 Medium Density Residential District (MDR)

The Purpose and intent of the Medium Density Residential (MDR) District is to provide opportunity to develop single-family residential lots at more traditional suburban densities where appropriate, as defined by the Jerome Township Comprehensive Plan. Because of the smaller lot sizes allowed these properties are required to be served by centralized sewer and water services and will provide a transition between more intense commercial uses and lower density residential or agricultural uses. This district supersedes the R-2 Medium Density Residential District in existence prior to the enactment of this Resolution.

435.01 Permitted uses

Within the MDR District the following uses, developed in accordance with all other provisions of this Resolution, shall be permitted:

1. One single-family detached dwelling per lot.
2. Limited Home Occupations subject to the requirements of Section 635 of this Resolution.
3. 6111 – Elementary and Secondary Schools
4. 813110 Church or other places of religious worship
5. 922160 – Fire Protection Services
6. Community and Public Parks, playgrounds and sports fields.

435.02 Accessory Uses and Structures

Accessory buildings or structures normally associated with single family residential use including detached garages, tool or garden sheds, playhouses and swimming pools subject to the requirements of Section 645 of this Resolution.

435.03 Conditional Uses

The following uses may be permitted as Conditional Uses in the MDR District by the Board of Zoning Appeals in accordance with the requirements of Section 240 of this Resolution and subject to the development standards for such uses as established herein.

1. 623110 Nursing Care Facilities.
2. 623312 Assisted Living Facilities for the Elderly.
3. 921140 – Executive and Legislative Offices
4. Telecommunications towers subject to the requirements of Section 655 of this Resolution.
5. Expanded Home Occupation subject to the requirements of Section 635 of this Resolution.
6. Accessory Apartment (Granny Flat), subject to the requirements of Section 645 of this Resolution.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

435.04 Lot Size and Yard Setback Standards

The following lot size and yard setback standards shall apply to all lots in the MDR District:

1. Minimum Lot Size

The minimum lot size for parcels in the MDR District shall be 12,000 Square Feet. In addition, the minimum lot size for all permitted and conditional uses shall be adequate to allow for the development of the lot in accordance with the applicable development standards of the MDR District and this Resolution.

2. Minimum Lot Frontage

All lots within the MDR District shall provide a minimum of 80 feet of continuous frontage as defined within Chapter 3 of this Resolution. Lot frontage on a curved road or a cul-de-sac may be reduced to a minimum of 65 feet provided that a minimum lot width of 80 feet shall be maintained at the front yard setback line. Corner lots having frontage on two public roads shall provide a minimum lot width of 90 feet.

3. Flag Lots

Flag Lots are not permitted within the MDR District.

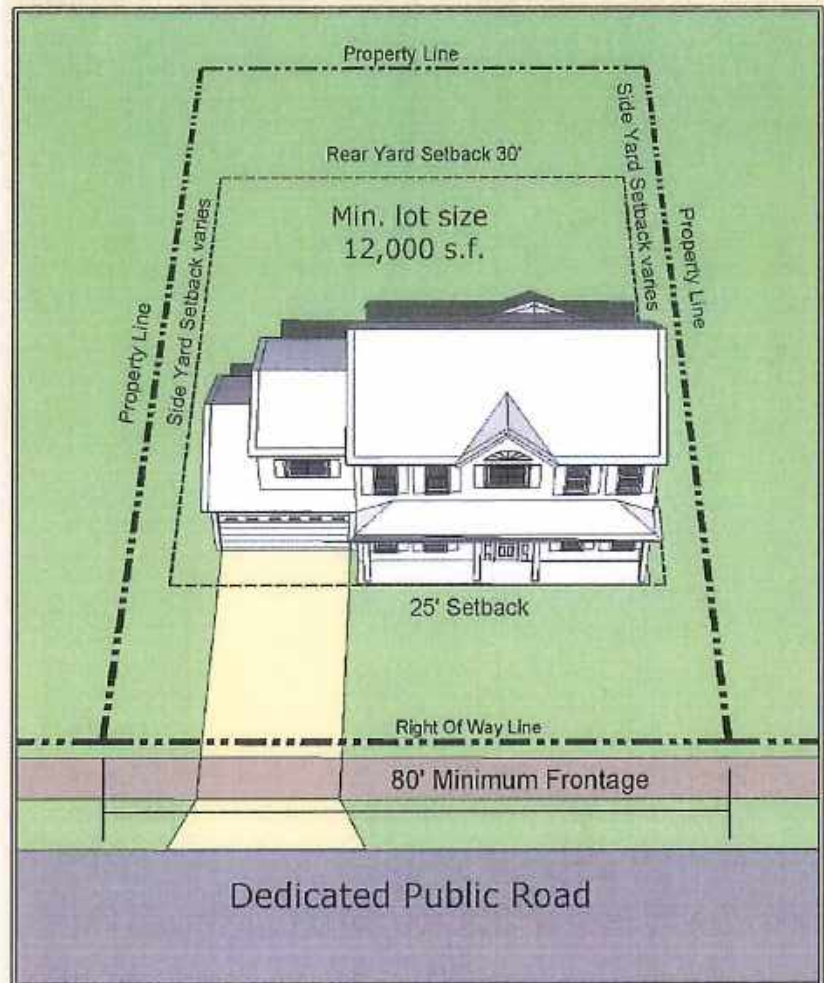
4. Front Yard Setbacks

All Front Yard Setbacks, as defined in Section 300, shall be measured from the right of way of the dedicated public road. The minimum front yard setback for all buildings and structures in the MDR District shall be 25 feet.

5. Side yard Setbacks

The minimum side yard setbacks for all buildings and structures in the MDR District shall be as follows:

- a) For lots having a width of less than 90 feet the minimum side yard setback shall be 6 feet.
- b) For lots having a width of 90 feet or greater, but less than 100 feet the minimum side yard setback shall be 8 feet.
- c) For lots having a width of 100 feet or greater the minimum side yard setback shall be 10 feet.



Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

d) For residences with side loaded garages the driveway shall be permitted to extend into the side yard a maximum of 4 feet. For residences with forward facing garages the driveway shall meet all side yard setbacks.

6. Rear Yard Setbacks

The minimum rear yard setback for all buildings and structures in the MDR District shall be 30 feet.

7. Architectural Projections

Open Structures such as porches, canopies, balconies, platforms, carports, and covered patios, and similar architectural projections shall be considered parts of the building or structure to which it is attached and shall not project into the required minimum front, side or rear yard.

8. Driveways and parking areas

Driveways and parking areas for any residential use, or any other permitted, accessory, or approved conditional use, shall not be permitted within any side or rear yard setback within the MDR District except as permitted by Section 435.04 (5)(d). Except as noted herein, parking areas for any permitted use or approved conditional or accessory use shall not be located within the front yard setback of any property within the MDR district.

9. Common Access Drives

Where the County Engineer has said that two adjacent properties must share a common access driveway to the road, the common access portion shall be centered on the property line of the two properties. The common part of the driveway for any residential uses, or any other permitted, accessory, or approved conditional uses, is permitted to make use of the side yard setbacks until it is 10 feet beyond the right-of-way line, subject to utility easements, and then must continue completely outside of the side yard setback. The width of the shared portion of the driveway be a minimum of 20 feet and a maximum of 40 feet wide. In no case may more than two properties share a common access driveway nor may any non-adjacent properties. The common portion of the driveway shall be of a uniform material and be either concrete or asphalt. This is applied to all properties within the MDR District. (Revised September 23, 2019)

435.05 Building and Site Development Standards

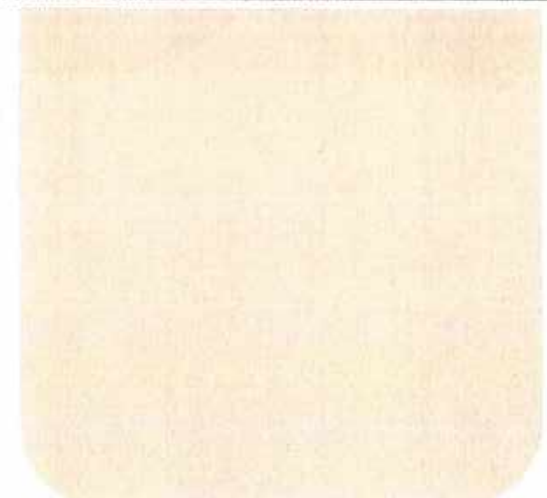
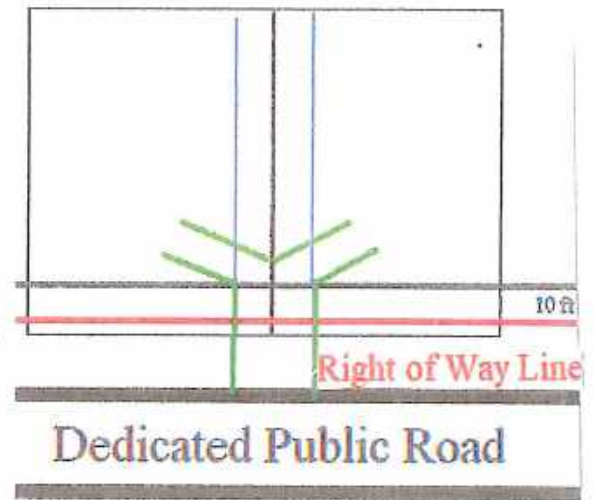
The following standards shall apply to the development of all permitted uses and accessory uses and structures within the MDR District:

1. Minimum and Maximum Square Footages

a) Residential Accessory Structures – See Section 645 for regulations concerning accessory structures.



Side Yard Setback Lines



- b) Single Family Dwellings – Single family dwellings in the MDR District shall provide a minimum of 1,200 square feet of floor area for a single story dwelling and a minimum of 1,600 square feet of floor area for a split-level or multi-story dwelling. Floor area shall be measured as defined in Chapter 3 of this Resolution.

2. Maximum Building Height

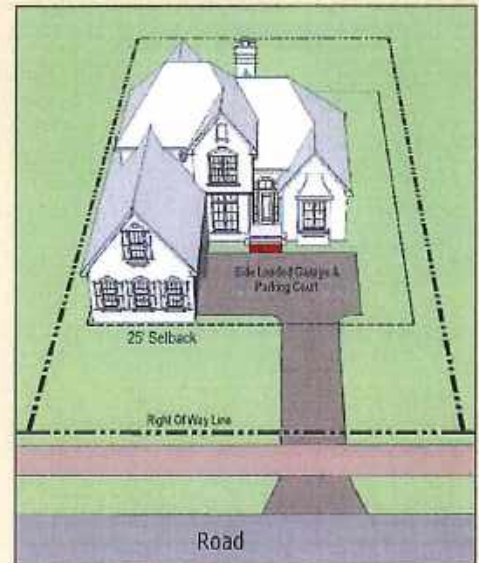
The maximum height of buildings and structures shall be measured as defined in Section 300 of this Resolution and shall meet the requirements listed below:

- a) Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – The maximum building height for single family dwellings in the MDR District shall be 35 feet.
- c) All Other Permitted Uses and Approved Conditional Uses – The maximum building height for all other permitted uses and approved Conditional Uses shall be 35 feet.

3. Residential Building Standards

The following standards apply to all single-family dwellings within the MDR District:

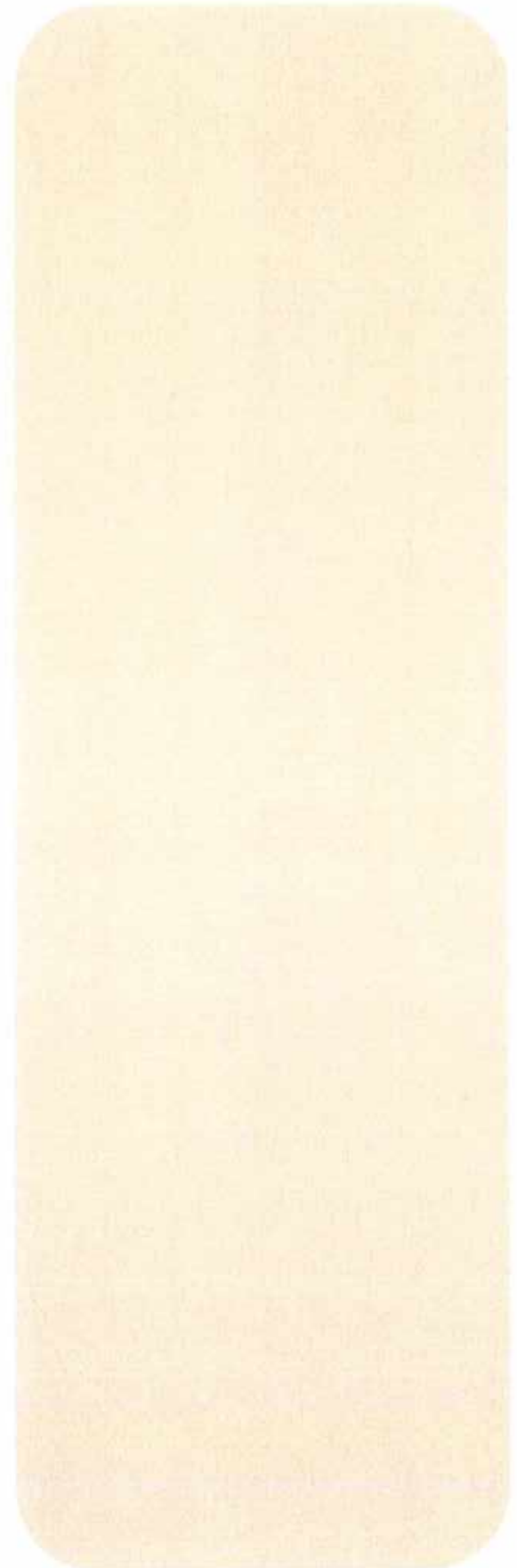
- a) Mobile Homes, Travel Trailers, or Park Trailers– The use of a Mobile Home, Travel Trailer, or Park Trailer, as defined by ORC 4501.01, is prohibited within the MDR District.
- b) Manufactured Home – The use of a permanently sited Manufactured Home, as defined by ORC 3781.06, is permitted within the MDR District provided that the home meets all applicable residential building code standards, is installed on a permanent foundation, and meets all minimum floor area requirements.
- c) Attached Garages – The follow standards apply to all single family dwellings with attached garages.
 - (i) The face of all front-loaded garages shall be set back from the face of the principal residence a minimum of 2 feet in the case of 1 and 2 car garages. 3 car front-loaded garages are permitted on lots 90 feet and larger provided the third garage bay is set back a minimum of an additional 2 feet from the first two garage bays
 - (ii) Side-loaded garages are permitted to extend past the front of the principal residence to create a front parking court provided that the elevation of the garage facing the street is treated with windows and the garage meets the front yard setback for the District.



4. Platted Residential Subdivisions

The following standards shall apply to all new platted subdivisions having 20 or more lots within the MDR District.

- a) Architectural Diversity – In the Medium Density Residential District a single-family dwelling with the same or similar front elevation shall not be repeated within 4 houses on the same side of the street and within 2 houses in either direction of the house on the opposite side of the street. The builder is permitted to construct homes that use an identical elevation, but use a different main exterior material or main exterior color, provided that the homes shall be separated by at least 2 homes of a different elevation on the same side of the street and by at least 1 home in either direction of the house on the opposite side of the street.
- b) Open Space – the developer of any platted subdivision within the Medium Density Residential District shall dedicate a minimum of 10% of the gross acreage of the property to permanent open space to be used by the residents of the development.





Zoning & Subdivision Committee
Thursday, October 10, 2019

The Zoning and Subdivision Committee met in regular session on Thursday, October 10, 2019 at 12:40 pm at the LUC East Liberty Office.

Zoning & Subdivision Committee Members were in attendance as follows: Brad Bodenmiller, Tyler Bumbalough, Scott Coleman, Wes Dodds, Ashley Gaver, Charles Hall, Mark Mowery for Steve McCall, Heather Martin, Bill Narducci, Aaron Smith, Jeff Stauch, and Andy Yoder. Absent members were: Tammy Noble and Tom Scheiderer.

Guests included: Justin Wollenberg, Terrain Evolution; Doug Crabill, City of Urbana; John Bayliss, Logan County Commissioner; David Faulkner, Champaign County Commissioners; Doug Stewart, Jerome Township; Eric Snowden, Jerome Township.

Scott Coleman chaired the Zoning & Subdivision Committee Meeting.

Charles Hall moved a motion to approve the minutes from the September 12 meeting as written and Wes Dodds seconded. All in favor.

1. Review of The Courtyards on Hyland Run Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
 - Justin Wollenberg – In regard to the comments from the township regarding the number of lots, the Zoning Commission has recommended approval of the Final Development Plan and it will be going to the Trustees for approval or denial. For URE's comment regarding easement areas, the setbacks are a zoning condition that don't change with an easement, I can't change the building setback, it's set by zoning. So, we won't be building in those setbacks.
 - Charles Hall moved a motion to recommend approval as recommended by the staff report of The Courtyards on Hyland Run Preliminary Plat with the understanding there may be some conflict regarding setbacks and easement overlap and Bill Narducci seconded. All in favor.
2. Review of Jerome Village VN-4 Phase 2 Final Plat (Union County) – Staff Report by Brad Bodenmiller
 - Wes Dodds moved a motion to recommend approval of the Jerome Village VN-4 Phase 2 Final Plat with the incorporation of the technical details as specified by LUC on the Mylar and Andy Yoder seconded. All in favor.
3. Review of Jerome Township Zoning Text Amendment (Union County) – Staff Report by Aaron Smith



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Director: Bradley J. Bodenmiller

- Charles Hall asked for clarification of the diagram shown by Aaron Smith.
- Charles Hall asked for further clarification on the diagram Aaron Smith showed.
 - Andy Yoder explained that it has to be within 10 feet of the right of the way line.
 - Wes Dodds further explained the diagram.
 - Andy Yoder asked if this was recorded in the deed and how do they handle maintenance in the common area?
 - Bill Narducci – We have common access driveway standards. Part of that is to record an easement and a use of maintenance agreement. We have a sample for them to use. That's recorded. That stays with the property and the deed as it's transferred. It's easily searched, and it follows along as the property transfers.
 - Andy Yoder – if there are problems, it's a civil matter.
 - Bill Narducci – We make it clear that it's a privately-owned driveway.
- Dave Faulkner asked for information regarding the driveway widths.
 - Aaron Smith – Union County has their own information and Jerome Township has included measurements.
 - Scott Coleman – Is there a reason why they don't want them to go further back? They may want to consider going deeper than 10' if they want them to split that soon.
 - Tyler Bumbalough – Are they allowed to split in the right of way or is that what they're trying to get away from?
 - Aaron Smith – That's what they're trying to get away from.
 - Tyler Bumbalough – There's probably a front setback line. That might make sense.
 - Doug Stewart - Can we take this back and not make a decision? Eric is only three days into his job, and we didn't have any part of this. We haven't been involved in this decision.
 - Andy Yoder – Could we go through and discuss it, get all the questions out there and recommend denial?
 - Charles Hall – Is this a problem from the fire chief point of view?
 - Bill Narducci – Our overall concern is that our CAD regulations are more accommodating regarding the number of lots served and the area those drives are. We think our regulations and the townships could contradict them. Our goal is to keep driveways safe. The compromise is proposing common access drives in certain scenarios. I think it's appropriate to review. We would be more than happy to go over our regulations and why we have them and understand what isn't working for you.
 - Eric Snowden – Thank you to the committee and staff for taking the time. We'd like you to recommend disapproval of this. I started at 8 am Monday and I've been hearing about this. The Zoning Commission members seem to want to deal with this because of a subdivision being avoided due to lot

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splits. They're concerned about what happens down the road if they don't get along, though that's not the township's responsibility. We will meet with Mr. Narducci and understand the regulations in detail before resubmitting.

- Jeff Stauch – I appreciate your willingness to sit down with us.
- Jeff Stauch moved a motion to recommend denial of the Jerome Township Zoning Text Amendment with the comments of the engineer's office, prosecutor's office and the committee and Andy Yoder seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 1:14 pm with Mark Mowery moving a motion to adjourn and Andy Yoder seconded. All in favor.

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